

ROCKWALL CITY COUNCIL REGULAR MEETING

Tuesday, January 19, 2021 - 4:00 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

I. Call Public Meeting to Order

II. Work Session

1. Hold a work session to discuss vacant, entitled, or designated residential property in the City's corporate limits.

III. Executive Session.

The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:

1. Discussion regarding the appointment/employment process for the position of City Manager, and appointment of Interim City Manager pursuant to Section 551.074 (Personnel Matters) and 551.071 (Consultation with Attorney).
2. Discussion regarding appointments to city regulatory boards, commissions, and committees (Board of Adjustments 'alternates') pursuant to Section 551.074 (Personnel Matters)
3. Discussion regarding City's nomination associated with filling current vacancy on the Rockwall Central Appraisal District Board of Directors, pursuant to Section 551.074 (personnel matters)
4. Discussion regarding land lease and airport management agreements at the Ralph M Hall / Rockwall Municipal Airport pursuant to Section §551.071 (Consultation with Attorney).
5. Discussion regarding City of Rockwall vs. Richard Brooks pursuant to Section §551.071 (Consultation with Attorney).
6. Discussion regarding legal issues related to personnel matters pursuant to Section 551.071 (Consultation with Attorney).

IV. Adjourn Executive Session

V. Reconvene Public Meeting (6:00 P.M.)

VI. Invocation and Pledge of Allegiance - Mayor Pruitt

VII. Proclamations

1. Health for Humanity Yogathon

VIII. Open Forum

IX. Take any Action as a Result of Executive Session

X. Consent Agenda

1. Consider approval of the minutes from the January 4, 2021 regular City Council meeting, and take any action necessary.
2. **SNC2021-001** - Consider approval of a resolution changing the name of Sable Glen Drive to Sable Drive, and take any action necessary.
3. Consider awarding bids to Caldwell Country Chevrolet \$342,687 and Pursuit Safety \$166,000 and authorizing the City Manager to execute Purchase Orders for new Vehicles and Equipment for a total amount of \$508,687 to be funded out of General Fund Reserves, and take any action necessary.

4. Consider awarding a bid to multiple vendors and authorizing the City Manager to execute Purchase Orders for Parks Department Equipment in the amount of \$45,953.39 to be funded out of the General Fund Reserves and \$72,403.22 out of Recreation Development Fund, and take any action necessary.
5. Consider awarding a contract to FileOnQ and authorizing the City Manager to execute the contract for a Police Digital Evidence Management System in the amount of \$51,445 to be funded out of General Fund Reserves, and take any action necessary.
6. Consider amendment to current eligibility criteria for youth sports programs as a coach with the Rockwall Baseball & Softball League, and take any action necessary.
7. Consider authorizing the City Manager to execute an umpire agreement with Baseball Nation for the Rockwall Baseball Softball League, and take any action necessary.
8. Consider authorizing the City Manager to execute a tournament agreement with Baseball Nation for Leon Tuttle Athletic Complex, and take any action necessary.

XI. Public Hearing Items

1. **Z2020-055** - Hold a public hearing to discuss and consider a request by Caroline Harklau of Southern Roots, LLC for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing a *General Retail Store* on a 0.23-acre parcel of land identified as Lot 1, Block A, TCB Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary **(1st Reading)**.
2. **Z2020-056** - Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of an **ordinance** for a *Zoning Change* from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary **(1st Reading)**.
3. **Z2020-057** - Hold a public hearing to discuss and consider a request by Doug Galloway of Viaduct Development on behalf of GotRocks Properties, LLC for the approval of an **ordinance** for a *Zoning Change* superseding *Specific Use Permit No. 57 (S-57; Ordinance No. 08-39)* and changing the zoning from a Single-Family 10 (SF-10) District to Planned Development District 41 (PD-41) for General Retail (GR) District land uses on a 2.96-acre parcel of land identified as Lot 1, Block A North Lake Shore Daycare Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses and Single-Family 10 (SF-10) District, addressed as 1940 N. Lakeshore Road, and take any action necessary **(1st Reading)**.
4. **Z2020-058** - Hold a public hearing to discuss and consider a request by David LeCour for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for an accessory structure on a 0.50-acre parcel of land identified as Block 107 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 507 S. Clark Street, and take any action necessary **(1st Reading)**.
5. **Z2020-060** - Hold a public hearing to discuss and consider a request by Matthew Deyermond of TC Planning and Design Group on behalf of the owners Donald Wallace for the approval of an **ordinance** for a *Zoning Change* from an Agricultural (AG) District and a Single-Family Estate 2.0 (SFE-2.0) District to a Single-Family Estate 1.5 (SFE-1.5) District on a 8.17-acre portion of a larger 123.00-acre tract of land identified as Tract 44-01 and all of Tracts 45-02 & 45-07 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Single-Family Estate 2.0 (SFE-2.0) District, generally located on the north side of H. Wallace Lane north of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary **(1st Reading)**.

XII. Action Items

1. Discuss and consider approval of a resolution to nominate a candidate to fill a vacancy on the Rockwall Central Appraisal District (CAD) Board of Directors, and take any action necessary.
2. Discuss and consider an update regarding the Complete Count Committee for the 2020 Census, and take any action necessary.

XIII. Executive Session.

The City of Rockwall City Council will Recess into Executive Session to discuss the following matter as authorized by Chapter 551 of the Texas Government Code:

1. Discussion regarding the appointment/employment process for the position of City Manager, and appointment of Interim City Manager pursuant to Section 551.074 (Personnel Matters) and 551.071 (Consultation with Attorney).
2. Discussion regarding appointments to city regulatory boards, commissions, and committees (Board of Adjustments 'alternates') pursuant to Section 551.074 (Personnel Matters)
3. Discussion regarding City's nomination associated with filling current vacancy on the Rockwall Central Appraisal District Board of Directors, pursuant to Section 551.074 (personnel matters)
4. Discussion regarding land lease and airport management agreements at the Ralph M Hall / Rockwall Municipal Airport pursuant to Section §551.071 (Consultation with Attorney).
5. Discussion regarding City of Rockwall vs. Richard Brooks pursuant to Section §551.071 (Consultation with Attorney).
6. Discussion regarding legal issues related to personnel matters pursuant to Section 551.071 (Consultation with Attorney).

XIV. Reconvene Public Meeting & Take Any Action as Result of Executive Session

XV. Adjournment

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 771-7700 or FAX (972) 771-7727 for further information.

The City of Rockwall City Council reserves the right to adjourn into executive session at any time to discuss any of the matters listed on the agenda above, as authorized by Texas Government Code ¶ 551.071 (Consultation with Attorney) ¶ 551.072 (Deliberations about Real Property) ¶ 551.074 (Personnel Matters) and ¶ 551.087 (Economic Development)

I, Kristy Cole, City Secretary for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 15th day of January, 2021 at 4:00 p.m. and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

Kristy Cole, City Secretary
or Margaret Delaney, Asst. to the City Sect.

Date Removed



MEMORANDUM

TO: Rick Crowley, City Manager
CC: Honorable Mayor and City Council
FROM:
DATE: January 19, 2021
SUBJECT:

Attachments

Summary/Background Information

Action Needed



MEMORANDUM

TO: Rick Crowley, City Manager
CC: Honorable Mayor and City Council
FROM:
DATE: January 19, 2021
SUBJECT:

Attachments

Summary/Background Information

Action Needed

Rockwall, Texas Proclamation

Whereas, YOGA is an ancient Hindu practice developed thousands of years ago in the Indian subcontinent to help maintain spiritual, mental and physical wellbeing; and

Whereas, the Surya Namaskara (or “Sun Salutation”) is a traditional yogic practice that combines a sequence of postures with breathing exercises; and

Whereas, HSS (Hindu Swayamsevak Sangh) is a non-profit, charitable organization with over 235 branches in 173 cities and 32 states, including 18 in the DFW area; and

Whereas, HSS conducts a Hindu values education program and community service activities such as conducting food drives, providing hot meals to shelters and donating PPE to first responders in several cities around DFW; and

Whereas, HSS is organizing its annual “Health for Humanity Yogathon” with the goal of having 1,000 individuals cumulatively complete 11,000 repetitions of Surya Namaskara to promote the spiritual, mental and physical wellbeing of all members of the community; and

Whereas, YOGA enthusiasts, YOGA Studios, local schools, and other community organizations are participating in the HSS Health for Humanity Yogathon.

Now, Therefore, I, Jim Pruitt, Mayor of the City of Rockwall TX, do hereby proclaim Jan. 16-31, 2021 as **“HEALTH FOR HUMANITY YOGATHON PERIOD”** in the City of Rockwall and encourage all citizens to become more aware of the enjoyment and many benefits of yoga.

In Witness Whereof, I hereunto set my hand and official seal this 19th day of January, 2021.



Jim Pruitt, Mayor

ROCKWALL CITY COUNCIL REGULAR MEETING

Monday, January 04, 2021 - 5:00 PM

City Hall Council Chambers - 385 Goliad St., Rockwall, TX 75087

I. CALL PUBLIC MEETING TO ORDER

Mayor Pro Tem Fowler called the meeting to order at 5:02 p.m. Present were Mayor Pro Tem Kevin Fowler and Council Members Anna Campbell, Dana Macalik, John Hohenshelt, Bennie Daniels and Trace Johannesen. Also present were City Manager Rick Crowley, Assistant City Managers Mary Smith and Joey Boyd and City Attorney Frank Garza. Mayor Pruitt was absent from the duration of the meeting.

Mayor Pro Tem Fowler read the following discussion items into the public record before recessing the meeting to go into Executive Session.

II. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding the appointment/employment process for the position of City Manager, pursuant to Section 551.074 (Personnel Matters) and 551.071 (Consultation with Attorney).
2. Discussion regarding legal issues related to personnel matters pursuant to Section 551.071 (Consultation with Attorney).
3. Discussion regarding appointments to city regulatory boards, commissions, and committees (Board of Adjustments 'alternates') pursuant to Section 551.074 (Personnel Matters)

III. ADJOURN EXECUTIVE SESSION

Council adjourned from Ex. Session at 5:56 p.m.

IV. RECONVENE PUBLIC MEETING (6:00 P.M.)

Mayor Pro Tem Fowler reconvened the public meeting at 6:00 p.m. All council members, except for Mayor Pruitt, were present.

V. INVOCATION AND PLEDGE OF ALLEGIANCE - COUNCILMEMBER HOHENSHELT

Councilmember Hohenshelt delivered the invocation and led the Pledge of Allegiance.

VI. OPEN FORUM

Mayor Pro Tem Fowler explained how Open Forum is conducted, asking if anyone would like to come forth and speak at this time. There being no one indicating such, he then closed Open Forum.

VII. TAKE ANY ACTION AS A RESULT OF EXECUTIVE SESSION

Council took no action as a result of Executive Session.

VIII. CONSENT AGENDA

1. Consider approval of the minutes from the December 21, 2020 regular City Council meeting, and take any action necessary.
2. **Z2020-048** - Consider a request by Brenda Kennedy for the approval of an **ordinance** for a Specific Use Permit (SUP) allowing Residential Infill Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.34-acre parcel of land identified as Lot 1, Block A, Richard Harris Subdivision #5, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 701 T. L. Townsend Drive, and take any action necessary **(2nd Reading)**.
3. **Z2020-049** - Consider a request by Sam Hernandez for the approval of an **ordinance** for a Specific Use Permit (SUP) allowing Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2342-acre parcel of land identified as Lot 48 of the Canup's Subdivision, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 304 E. Bourn Street, and take any action necessary **(2nd Reading)**.
4. **Z2020-050** - Consider a request by Perry Bowen on behalf of Kyle Bryan for the approval of an **ordinance** for a Specific Use Permit (SUP) allowing Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.9655-acre parcel of land identified as Lot A, Block 107, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 501 S. Clark Street, and take any action necessary **(2nd Reading)**.
5. **Z2020-052** - Consider a request by Thomas Jones of Tomden Engineering, LLP on behalf of Shanon Thomas of Rockwall Friendship Baptist Church for the approval of an **ordinance** for a Zoning Change from an Agricultural (AG) District to a Commercial (C) District for a 3.94-acre tract of land identified as Tract 1-8 of the J. H. Bailey Survey, Abstract No. 22, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 5651 SH-276, and take any action necessary **(2nd Reading)**.
6. **Z2020-053** - Consider a request by David Meinhardt of Meinhardt & Associates, PLLC on behalf of Ed Burke of Channell Commercial Corporation for the approval of an **ordinance** for a Zoning Change from a Light Industrial (LI) District to a Planned Development District for Light Industrial (LI) District land uses on an 18.762-acre parcel of land identified as Lot 2, Block A, Channell Subdivision, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, addressed as 1700 Justin Road, and take any action necessary **(2nd Reading)**.
7. **P2020-051** - Consider a request by Bryan Connally of CBG Surveying, TX LLC on behalf of SDI S. Rockwall, LLC for the approval of a Final Plat for Lot 1, Block A, SDI Rockwall Addition being a 0.92-acre parcel of land identified as Lot 1, Block A, Mr. M Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2901 Ridge Road, and take any action necessary.
8. **P2020-053** - Consider a request by J. W. Jones on behalf of Lupe Guardiola for the approval of a Replat for Lot 1, Block I, Lake Rockwall Estates East Addition being a 0.22-acre tract of land identified as Lot 1051 and a portion of Lot 1050 of the Rockwall Lake Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 247 Chris Drive, and take any action necessary.
9. Consider authorizing the City Manager to execute a new Administrative Directive to extend the Emergency Paid Sick Leave Act to March 31, 2021 and take any action necessary.

Councilmember Hohenshelt moved to approve the entire Consent Agenda (#s 1, 2, 3, 4, 5, 6, 7, 8, and 9). Councilmember Daniels seconded the motion, and the ordinances were read as follows:

CITY OF ROCKWALL
ORDINANCE NO. 21-02
SPECIFIC USE PERMIT NO. S-238

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.34-ACRE TRACT OF LAND, IDENTIFIED AS LOT 1, BLOCK A, RICHARD HARRIS SUBDIVISION #5, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL
ORDINANCE NO. 21-03
SPECIFIC USE PERMIT NO. S-239

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2342-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 48, CANUP ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL
ORDINANCE NO. 21-04
SPECIFIC USE PERMIT NO. S-240

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.9655-ACRE PARCEL OF LAND, IDENTIFIED AS LOT A, BLOCK 107, B.F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A

REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL
ORDINANCE NO. 21-06

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A COMMERCIAL (C) DISTRICT ON A 3.94-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1-8 OF THE J. H. BAILEY SURVEY, ABSTRACT NO. 22, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* AND FURTHER DESCRIBED IN *EXHIBIT 'B'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

CITY OF ROCKWALL
ORDINANCE NO. 21-07

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A LIGHT INDUSTRIAL (LI) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 89 (PD-89) FOR LIGHT INDUSTRIAL (LI) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 18.762-ACRE PARCEL OF LAND IDENTIFIED AS LOT 3, BLOCK A, CHANNELL SUBDIVISION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed unanimously of those present (6 ayes with 1 (Pruitt) absent).

IX. ACTION ITEMS

1. **Z2020-041** - Discuss and consider approval of an ordinance for a *Text Amendment* to Subsection 06.15, *Lake Ray Hubbard Takeline Overlay (TL OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] for the purpose of amending the requirements for land use and development within the *Lake Ray Hubbard Takeline*, and take any action necessary (**2nd Reading**).

Planning Director, Ryan Miller provided brief comments pertaining to this agenda item.

Councilmember Hohenshelt moved to approve the ordinance for Z2020-041, excluding the fees schedule. Councilmember Macalik seconded the motion. The ordinance caption was read as follows:

CITY OF ROCKWALL
ORDINANCE NO. 21-01

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 06.15, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT, AND CREATING SECTION 07.05, LAKE RAY HUBBARD TAKELINE OVERLAY (TL OV) DISTRICT DEVELOPMENT STANDARDS, OF ARTICLE 05, DISTRICT DEVELOPMENT STANDARDS, AS DEPCITED IN EXHIBIT 'A' AND EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 6 in favor with 1 absent (Pruitt).

Mayor Pro Tem Fowler recused himself from the second part of this discussion. Councilmember Hohenshelt moved to approve the fee schedule (only) associated with the ordinance for Z2020-041. Councilmember Johannesen seconded the motion, which passed by a vote of 5 in favor, 1 recusal (Fowler) and 1 absence (Pruitt).

2. **Z2020-051** - Discuss and consider a request by Travis Redden for the approval of an ordinance for a *Specific Use Permit (SUP)* allowing *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.30-acre parcel of land identified as Lot 8, Block A, Shadydale Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for Single-Family 8.4 (SF-8.4) District land uses, addressed as 38 Shady Dale Lane, and take any action necessary (**2nd Reading**).

Mr. Miller indicated that this item appears under 'Action' this evening (instead of 'Consent') because it did not receive unanimous approval by Council at the last council meeting.

Mayor Pro Tem Fowler moved to approve Z2020-051. Councilmember Macalik seconded the motion. The ordinance caption was read as follows:

CITY OF ROCKWALL
ORDINANCE NO. 21-05
SPECIFIC USE PERMIT NO. S-241

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 9 (PD-9) AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.30-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK A, SHADYDALE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

The motion passed by a vote of 5 ayes, 1 nay (Johannesen), and 1 absence (Pruitt).

3. Discuss and consider legislative topics for the 87th Session of the Texas Legislature, and take any action necessary.

Assistant City Manager, Joey Boyd led the brief discussion of this item. The upcoming state legislative session will begin convening on January 12. In the past, the City of Rockwall has followed bills that could either directly or indirectly impact the city's ability to provide services to citizens. Department Directors will be monitoring upcoming bills thru their respective professional organizations (i.e. Police and Fire Associations, Building Officials Association of TX, and TX Recreation and Parks Society). Topics of interest that staff has identified include:

- **Transportation / Roadway Infrastructure**
- **Property Tax**
- **Sales Tax**
- **Local Control & Governance**
- **Development & Construction Regulations**
- **Public Safety**
- **Elections**
- **Texas Parks & Wildlife Grant Funding.**

Mr. Boyd indicated that this list will be added to as the session progresses, as needed. Mayor Pro Tem Fowler generally indicated that the list above is a good starting place. He also encouraged staff to be looking closely at COVID-19 related bills that may be put forth as well. Council took no formal action pertaining to this agenda item.

X. CITY MANAGER'S REPORT, DEPARTMENTAL REPORTS AND RELATED DISCUSSIONS PERTAINING TO CURRENT CITY ACTIVITIES, UPCOMING MEETINGS, FUTURE LEGISLATIVE ACTIVITIES, AND OTHER RELATED MATTERS.

1. Building Inspections Monthly Report - November 2020
2. Fire Department Monthly Report for November - 2020
3. PARD Monthly Report - November 2020
4. Police Department Monthly Report - November 2020
5. Sales Tax Historical Comparison
6. Water Consumption Historical Statistics

Mr. Crowley, City Manager, shared that departmental reports were provided to Council in the meeting packet for review. Council asked no questions, and no discussion/action took place pertaining to the reports.

XI. EXECUTIVE SESSION.

THE CITY OF ROCKWALL CITY COUNCIL WILL RECESS INTO EXECUTIVE SESSION TO DISCUSS THE FOLLOWING MATTER AS AUTHORIZED BY CHAPTER 551 OF THE TEXAS GOVERNMENT CODE:

1. Discussion regarding the appointment/employment process for the position of City Manager, pursuant to Section 551.074 (Personnel Matters) and 551.071 (Consultation with Attorney).
2. Discussion regarding legal issues related to personnel matters pursuant to Section 551.071 (Consultation with Attorney).

3. Discussion regarding appointments to city regulatory boards, commissions, and committees (Board of Adjustments 'alternates') pursuant to Section 551.074 (Personnel Matters)

XII. RECONVENE PUBLIC MEETING & TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

Council did not reconvene in Ex. Session following the close of the public meeting agenda.

XIII. ADJOURNMENT

Mayor Pro Tem Fowler adjourned the meeting at 6:14 p.m.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS 19th DAY OF JANUARY, 2021.

JIM PRUITT, MAYOR

ATTEST:

KRISTY COLE, CITY SECRETARY



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: January 19, 2021

SUBJECT: SNC2021-001; STREET NAME CHANGE FOR SABLE GLEN DRIVE TO SABLE DRIVE

Attachments

Case Memo

Location Map

Final Plat of Breezy Hill, Phase 11

Draft Resolution

Summary/Background Information

Consider a request for the approval of a **resolution** changing the name of Sable Glen Drive to Sable Drive, and take any action necessary.

Action Needed

The City Council is being asked to consider the street name change and [1] approve or [2] deny the request.



CITY OF ROCKWALL

CITY COUNCIL MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

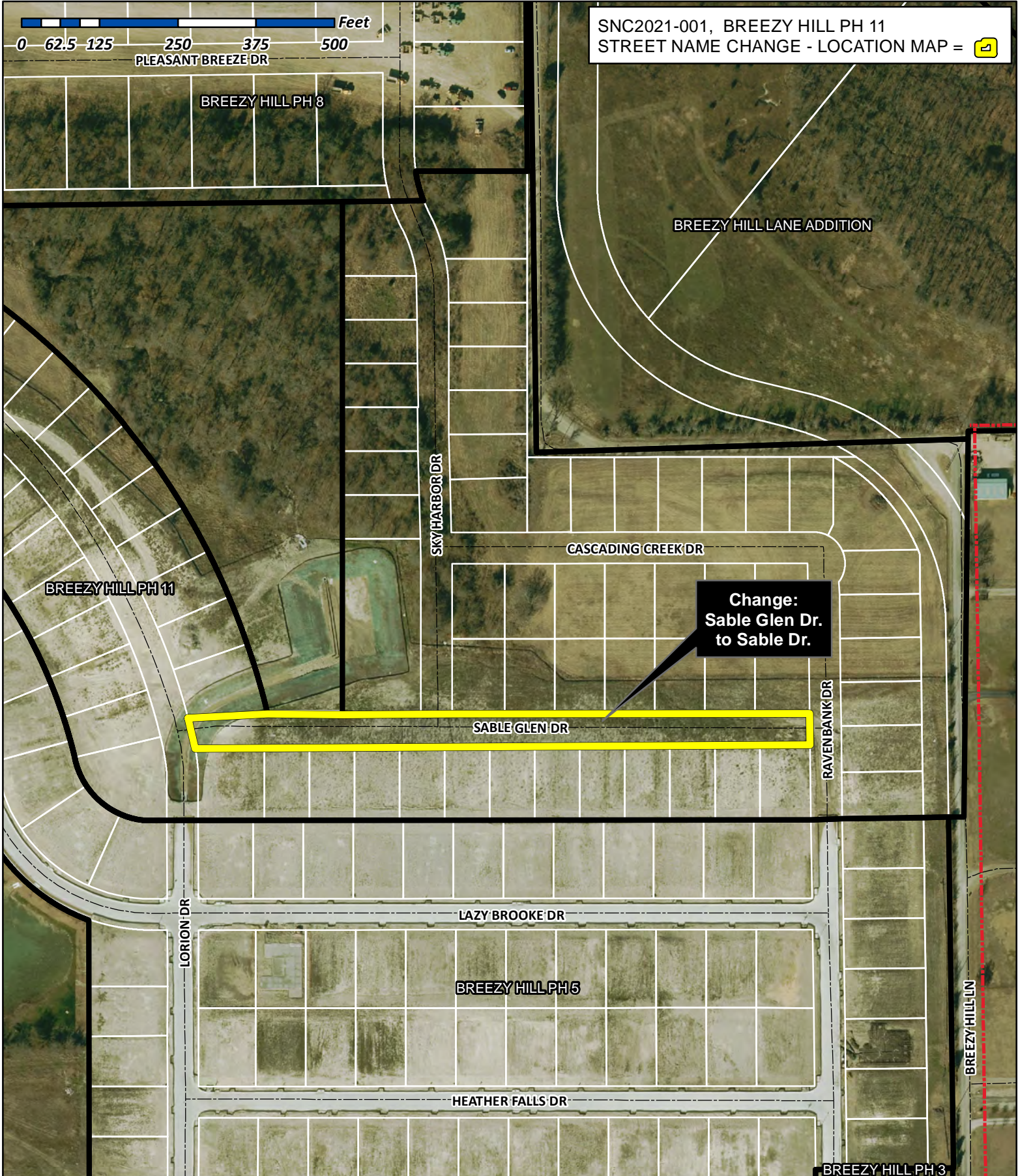
CC: Rick Crowley, *City Manager*
Mary Smith, *Assistant City Manager*
Joey Boyd, *Assistant City Manager*

FROM: Ryan Miller, *Director of Planning and Zoning*

DATE: January 19, 2021

SUBJECT: SNC2021-001; *Street Name Change for Sable Glen Drive to Sable Drive*

Sable Glen Drive was established with Phase 11 of the Breezy Hill Subdivision on December 16, 2019 [Case No. P2019-046] and filed with the Rockwall County Clerk's office on November 23, 2020. Recently, it was brought to the staff's attention that Sable Glen Drive is not phonetically dissimilar enough to Stableglen Drive (*which is an established roadway in the City of Rockwall*), and could create an issue for public safety dispatchers. After conferring with the Dispatch Supervisor, staff determined that a street name change would be the best way to handle this issue. It was also determined that Sable Drive was an acceptable alternative to Sable Glen Drive. Currently, Phase 11 of the Breezy Hill Subdivision is under construction and none of the lots adjacent to Sable Glen Drive have been conveyed (*i.e. all of the lots remain under the ownership of the developer*). Staff did consult with the developer of this subdivision, John Arnold of the Skorburg Co., who indicated they had no issues with the proposed street name change. Attached to this memorandum is a draft resolution that would change Sable Glen Drive to Sable Drive. Should the City Council have any questions concerning this request, staff will be available at the meeting on January 19, 2021.



SNC2021-001, BREEZY HILL PH 11
 STREET NAME CHANGE - LOCATION MAP =

**Change:
 Sable Glen Dr.
 to Sable Dr.**



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



OF
BREEZY HILL PHASE XI
78 LOTS, BEING 23.849 ACRES
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187
IN THE

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

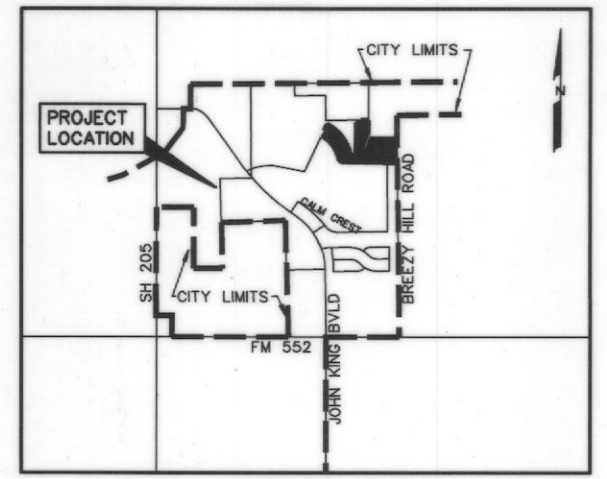
OWNER
BH PHASE XI, LTD.
8214 WESTCHESTER DRIVE, SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
TBPLS #10031700
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

OCTOBER 2020 SCALE 1" = 100'

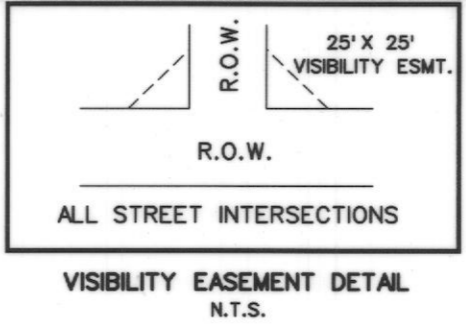
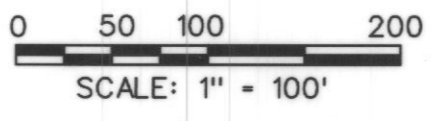
CASE NO. FP2019-046

SHEET 1 OF 2



CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	12°08'07"	275.00'	58.25'	58.14'	N05°06'58"W
2.	00°59'43"	991.00'	17.21'	17.21'	N11°40'53"W
3.	13°07'50"	295.00'	67.61'	67.46'	S84°23'11"W
4.	46°53'50"	991.00'	811.14'	788.69'	N35°37'39"W
5.	01°19'11"	1025.00'	23.61'	23.61'	N00°17'31"E
6.	00°14'22"	1025.00'	4.28'	4.28'	N00°29'16"W
7.	01°33'49"	1025.00'	27.97'	27.97'	N00°10'28"E
8.	27°07'36"	250.00'	118.36'	117.26'	N12°36'25"W
9.	08°03'59"	250.00'	35.20'	35.17'	N22°08'14"W
10.	126°11'12"	50.00'	110.12'	89.17'	N25°57'18"W
11.	63°13'48"	320.00'	335.49'	335.49'	N31°19'31"W
12.	24°13'20"	380.00'	160.65'	159.45'	N36°36'19"W
13.	40°20'34"	300.00'	211.23'	206.90'	S40°55'16"E



Δ = 04°19'35"
R = 275.00'
L = 20.77'
C = 20.76'
B = N63°42'20"W

Δ = 02°27'58"
R = 1016.00'
L = 43.73'
C = 43.73'
B = N60°18'33"W

Δ = 04°19'35"
R = 400.00'
L = 30.20'
C = 30.20'
B = S63°42'20"E

Δ = 49°01'03"
R = 1141.00'
L = 976.14'
C = 946.65'
B = S37°02'01"E

Δ = 46°53'29"
R = 825.00'
L = 675.19'
C = 656.50'
B = N35°37'50"W

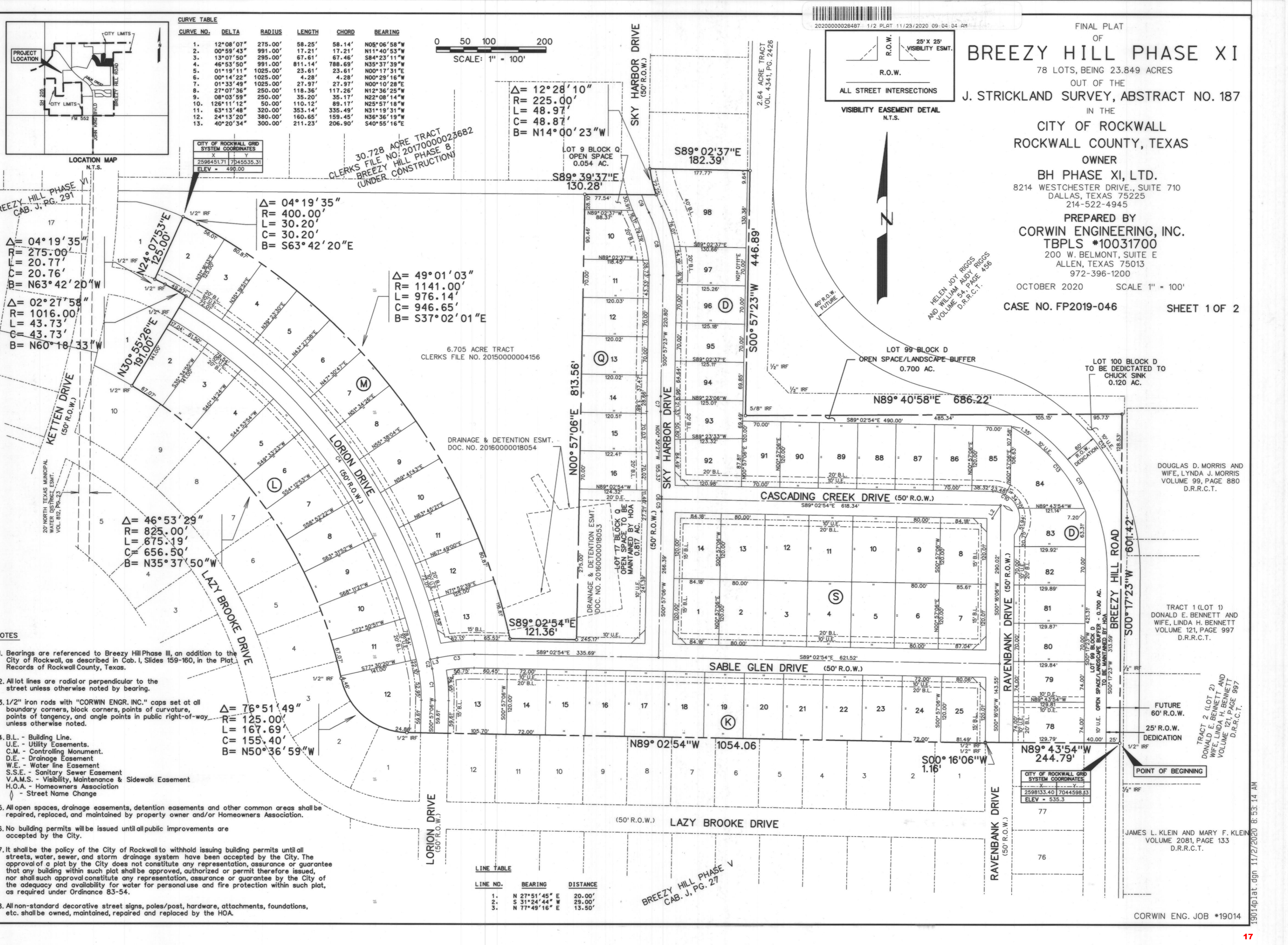
Δ = 76°51'49"
R = 125.00'
L = 167.69'
C = 155.40'
B = N50°36'59"W

Δ = 12°28'10"
R = 225.00'
L = 48.97'
C = 48.87'
B = N14°00'23"W

- NOTES**
- Bearings are referenced to Breezy Hill Phase III, an addition to the City of Rockwall, as described in Cab. I, Slides 159-160, in the Plat Records of Rockwall County, Texas.
 - All lot lines are radial or perpendicular to the street unless otherwise noted by bearing.
 - 1/2" iron rods with "CORWIN ENGR. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
 - B.L. - Building Line.
U.E. - Utility Easements.
C.M. - Controlling Monument.
D.E. - Drainage Easement
W.E. - Water line Easement
S.S.E. - Sanitary Sewer Easement
V.A.M.S. - Visibility, Maintenance & Sidewalk Easement
H.O.A. - Homeowners Association
♦ - Street Name Change
 - All open spaces, drainage easements, detention easements and other common areas shall be repaired, replaced, and maintained by property owner and/or Homeowners Association.
 - No building permits will be issued until all public improvements are accepted by the City.
 - It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer, and storm drainage system have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.
 - All non-standard decorative street signs, poles/post, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 27°51'45" E	20.00'
2.	S 31°24'44" W	23.00'
3.	N 77°49'16" E	13.50'



LEGAL DESCRIPTION

BEING, a tract of land situated in the J. Strickland Survey, Abstract No. 187 in the City of Rockwall, Rockwall County, Texas, being out of a 39.298 acre tract, as described in Clerks File No. 20130000498882 in the Deed Records of Rockwall County, Texas and being all of a 2.944 acre tract, as described in Clerks File No. 20180000010717 and being more particularly described as follows:

BEGINNING, at a 1/2 inch iron rod found at the northeast corner of Breezy Hill Phase V, as addition to the City of Rockwall, as described in a Cab. J, Pg. 27 in the Plat Records of Rockwall County, Texas and being in the east line of said 39.298 acre tract same being in Breezy Hill Road (Variable R.O.W.):

THENCE, North 89° 43' 54" West, along the north line of said Breezy Hill Phase V, for a distance of 244.79 feet, to a 1/2 inch iron rod found:

THENCE, South 00° 16' 06" West, continuing along said north line, for a distance of 1.16 feet, to a 1/2 inch iron rod found:

THENCE, North 89° 02' 54" West, continuing along said north line, for a distance of 1054.06 feet, to a 1/2 inch iron rod found at the point of curvature of a curve to the right, having a radius of 125.00 feet, a central angle of 76° 51' 49":

THENCE, continuing along said north line and with said curve to the right for an arc distance of 167.69 feet (Chord Bearing North 50° 36' 59" West 155.40 feet), to a 1/2 inch iron rod found at the point of reverse curvature of a curve to the left, having a radius of 825.00 feet, a central angle of 46° 53' 29":

THENCE, continuing along said north line and said with curve to the left for an arc distance of 675.19 feet (Chord Bearing North 35° 37' 50" West 656.50 feet), to a 1/2 inch iron rod found at the most southerly southeast corner of Breezy Hill Phase VI, an addition to the City of Rockwall, as described in Cab. J Pg. 291 in said Plat Records:

THENCE, North 30° 55' 26" East, departing said north line and along the east line of said Breezy Hill Phase VI, for a distance of 191.00 feet, to a 1/2 inch iron rod found on a curve to the left, having a radius of 1016.00 feet, a central angle of 02° 27' 58":

THENCE, continuing along said east line and with curve to the left for an arc distance of 43.73 feet (Chord Bearing North 80° 18' 33" West 43.73 feet), to a 1/2 inch iron rod found at the point of compound curvature of a curve to the left, having a radius of 275.00 feet, a central angle of 04° 19' 35":

THENCE, continuing along said east line and with said curve to the left for an arc distance of 20.77 feet (Chord Bearing North 63° 42' 20" West 20.76 feet), to a 1/2 inch iron rod found:

THENCE, North 24° 07' 53" East, continuing along said east line, for a distance of 125.00 feet, to a 1/2 inch iron rod found in the south line of a 6.705 acre tract, as described in Clerks File No. 20150000004156 in said Deed Records and being in the north line of said 39.298 acre tract being on a curve to the right, having a radius 400.00 feet, a central angle of 04° 19' 35":

THENCE, along the south line of said 6.705 acre tract and north line of said 39.298 acre tract with said curve to the right for an arc distance of 30.20 feet (Chord Bearing South 63° 42' 20" East 30.20 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the point of compound curvature of a curve to the right, having a radius of 1141.00 feet, a central angle of 49° 01' 03":

THENCE, continuing along said lines and with said curve to the right for an arc distance of 976.14 feet (Chord Bearing South 37° 02' 01" East 946.65 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the most southerly southwest corner of said 6.705 acre tract:

THENCE, South 89° 02' 54" East, continuing along said lines, for a distance of 121.36 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the most southerly southeast corner of said 6.705 acre tract and being an interior ell corner of said 39.298 acre tract:

THENCE, North 00° 57' 06" East, along the east line of said 6.705 acre tract and a west line of said 39.298 acre tract, at 390.00 feet, passing the southwest corner of said 2.944 acre tract and a northwest corner of said 39.298 acre tract, continuing for a total distance of 813.56 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the northeast corner of said 6.705 acre tract and being in the south line of a 30.728 acre tract, as described Clerks File No. 20170000023682, in said Deed Records same being the northwest corner of said 2.944 acre tract:

THENCE, South 89° 39' 37" East, along the south line of said 30.728 acre tract and the north line of said 2.944 acre tract, for a distance of 130.28 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", on a non-tangent curve to the right, having a radius of 225.00 feet, a central angle of 12° 28' 10":

THENCE, continuing along said north and south lines and with said curve to the right for an arc distance of 48.97 feet (Chord Bearing North 14° 00' 23" West 48.87 feet), to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.":

THENCE, South 89° 02' 37" East, continuing along said lines, for a distance of 182.39 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", at the northeast corner of said 2.944 acre tract and being an ell corner of said 30.728 acre tract being in the west line of a 2.64 acre tract, as described in Vol. 4341, Pg. 2426, in the Deed Records of Collin County, Texas:

THENCE, South 00° 57' 23" West, along east line of said 2.944 acre tract and the west line of said 2.64 acre tract, at 430.02 feet, passing the southeast corner of said 2.944 acre tract and an ell corner of said 39.298 acre tract and continuing with the west line of said 2.64 acre tract, for a total distance of 446.89 feet, to a 5/8 inch iron rod found at the southwest corner of said 2.64 acre tract:

THENCE, North 89° 40' 58" East, along the south line of said 2.64 acre tract, for a distance of 686.22 feet, to a 1/2 inch iron rod set with a yellow cap stamped "Corwin Eng. Inc." at the southeast corner of said 2.64 acre tract being in said Breezy Hill Road same being in the east line of said 39.298 acre tract:

THENCE, South 00° 17' 23" West, along the east line of said 39.298 acre tract and Breezy Hill Road, for a distance of 601.42 feet, to the POINT OF BEGINNING and containing 23.849 acres of land.

OWNER'S CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner's of the land shown on this plat, and designated herein as the BREEZY HILL PHASE XI, subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the BREEZY HILL PHASE XI, subdivision have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- 1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.
7. The Homeowners Association is responsible for maintaining all non-standard decorative signs, poles/post, hardware or other non standard items. The City of Rockwall has no maintenance or other responsibility related to these items. The City of Rockwall and the Homeowners Association agree the association will bear any and all maintenance cost related the said improvements. The City has the statutory authority to install and maintain Traffic Control Devices for Vehicular traffic on public Streets/Roads within the public right-of-way. This agreement in no way constitutes a change in that authority and does not constitute any delegation of that authority of the Association.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; we, our successors and assigns hereby waive any claim, damage, or cause of action that we may have as a result of the dedication of exaction's made herein.

Breezy Hill Phase XI, Ltd.
a Texas limited partnership
By: Breezy Hill Phase XI GP Corporation,
a Texas corporation, its General Partner

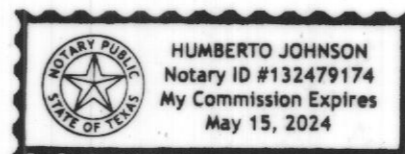
John Arnold
Director
Mortgage or Lien Interest

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared JOHN ARNOLD, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this 3 day of November, 2020.

Notary Public in and for the State of Texas

My Commission Expires: 5/15/2024

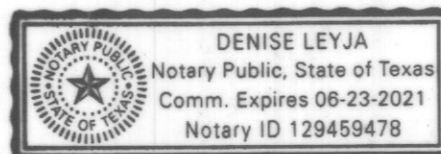


STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated. Given upon my hand and seal of office this 6 day of November, 2020.

Notary Public in and for the State of Texas

My Commission Expires: 6/23/21



NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water for personal use and fire protection within such plat, as required under Ordinance 83-54.

Recommended for Final Approval:

Planning & Zoning Commission

Date 11/10/20

APPROVED

I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the 16 day of December, 2020.

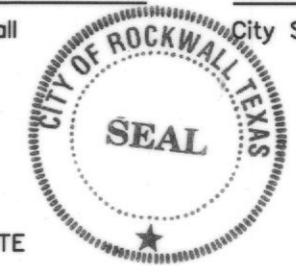
This approval shall be invalid unless the approved plat for such addition is recorded in the office of the Court Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this 18th day of November, 2020.

Mayor, City of Rockwall

City Secretary

City Engineer

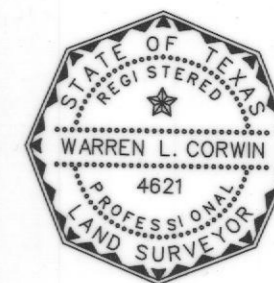


SURVEYOR CERTIFICATE

I, WARREN L. CORWIN, do hereby certify that the plat shown hereon accurately represents the results of an on-the-ground survey made under my direction and supervision and all corners are as shown thereon and there are no encroachments, conflicts, protrusions or visible utilities on the ground except as shown and said plat has been prepared in accordance with the platting rules and regulations of the City Plan Commission of the City of Rockwall, Texas.

DATED the this 2 day of Nov, 2020.

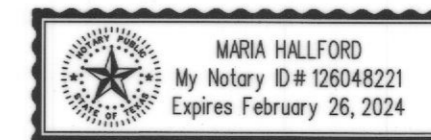
Warren L. Corwin
WARREN L. CORWIN
R.P.L.S. No. 4621



THE STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared WARREN L. CORWIN, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE, this the 2 day of Nov, 2020.



Notary Public in and for the State of Texas

Filed and Recorded
Official Public Records
Shelli Miller, County Clerk
Rockwall County, Texas
11/23/2020 09:04:04 AM
\$100.00
2020000028487

FINAL PLAT
OF
BREEZY HILL PHASE XI
78 LOTS, BEING 23.849 ACRES
OUT OF THE
J. STRICKLAND SURVEY, ABSTRACT NO. 187

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER
BH PHASE XI, LTD.
8214 WESTCHESTER DRIVE., SUITE 710
DALLAS, TEXAS 75225
214-522-4945

PREPARED BY
CORWIN ENGINEERING, INC.
TBPLS #10031700
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200
OCTOBER 2020

CITY OF ROCKWALL

RESOLUTION NO. 21-XX

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, CHANGING THE NAME OF SABLE GLEN DRIVE TO SABLE DRIVE AS DEPCITED IN *EXHIBIT 'A'* OF THIS RESOLUTION; IDENTIFYING A MUNICIPAL PURPOSE; AND AN EFFECTIVE DATE.

WHEREAS, the City of Rockwall has initiated a street name change for Sable Glen Drive changing it to Sable Drive in the interest of public safety; and

WHEREAS, Sable Glen Drive was established with the subdivision plat for the Breezy Hill, Phase 11 Addition, which was filed with the Rockwall County Clerk's office as *Instrument No. 20200000028487* on November 23, 2020; and

WHEREAS, Sable Glen Drive is *not* phonetically dissimilar enough to Stableglen Drive (*an existing roadway in the City of Rockwall*) and warrants a name change in the interest of public safety; and,

WHEREAS, the City Council of the City of Rockwall believes that the name change of Sable Glen Drive to Sable Drive is in the best interest of the public;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. ROADWAY. All of Sable Glen Drive -- *from Lorion Drive to Ravenbank Drive* -- shall hereafter be designated as Sable Drive, as depicted in the map which is attached to and incorporated herein as *Exhibit 'A'*.

SECTION 2. INCORPORATION OF RECITALS. The City Council finds the recitals contained in the preamble to this *Resolution* are true and correct and incorporates them as findings of fact.

SECTION 3. EFFECTIVE DATE. This *Resolution* shall be effective immediately following its passage and approval by the City Council.

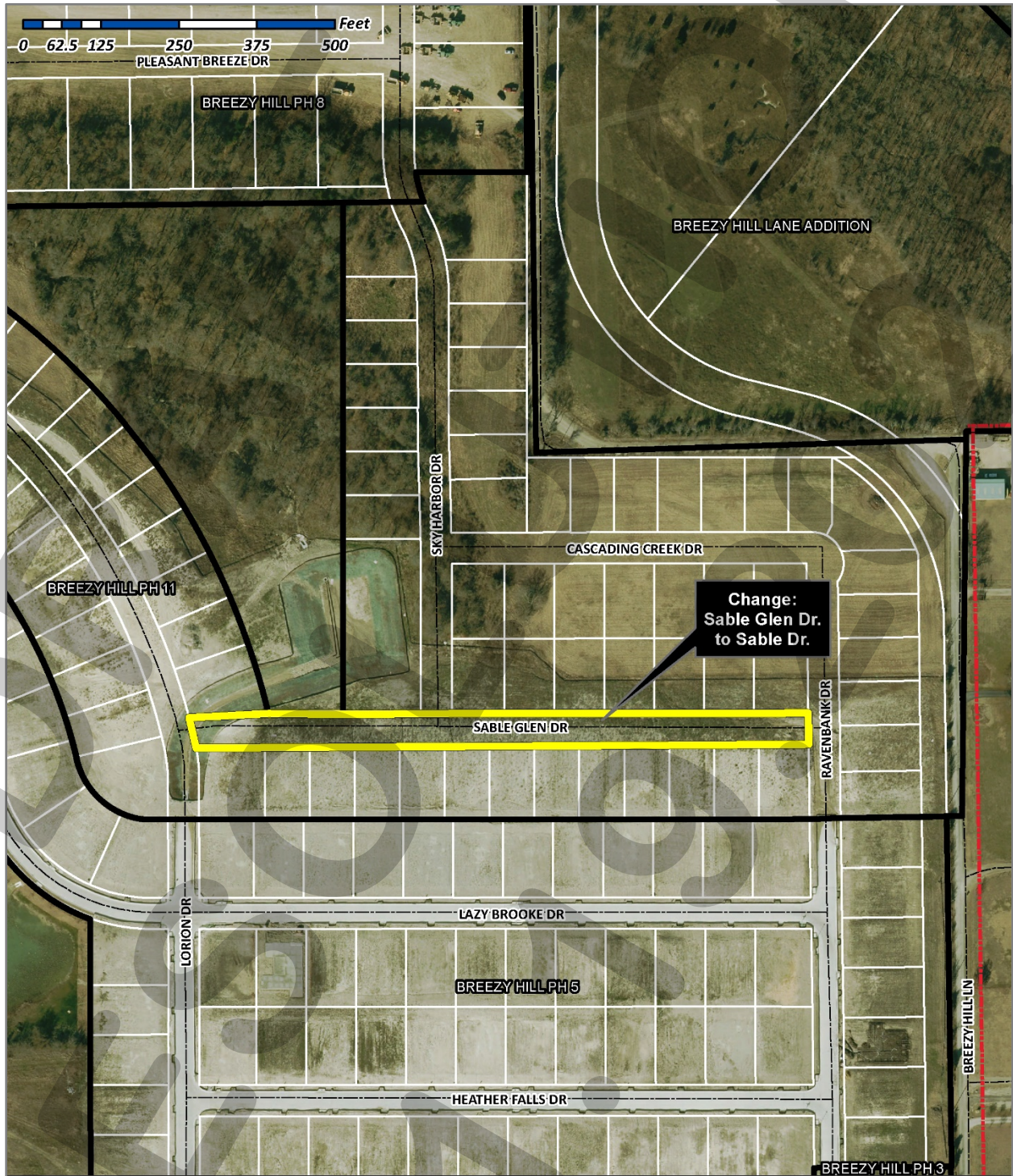
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ON THIS THE 19TH DAY OF JANUARY, 2021.

APPROVED:

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary





MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Lea Ann Ewing, Purchasing Agent

DATE: January 19, 2021

SUBJECT: PURCHASE OF 2021 MODEL VEHICLES AND EQUIPMENT FOR
VARIOUS DEPARTMENTS

Attachments

Summary/Background Information

Approved vehicles is this year's General Fund budgets are as follows:

<u>Dept.</u>	<u>Vehicle</u>	<u>Cost</u>	<u>Funding Source</u>
Parks	Truck ¾ ton	\$ 31,740	General Fund Reserves
Streets	Dump Truck 3-4 yard	\$ 62,000	General Fund Reserves
Police Patrol	Tahoe	6 ea. \$217,792	General Fund Reserves
	Tahoe Equipment	6 ea. \$166,000	General Fund Reserves
Police CID	Truck ½ ton	\$ 31,155	General Fund Reserves
Total		\$508,687	

The new vehicle costs are within budget. All Chevrolet trucks and Tahoe's are available from Caldwell Country Chevrolet through the Texas Association of School Board (Buy Board) cooperative purchasing contract #601-19. The aftermarket equipment purchase and install for the Patrol Tahoe's is available from Pursuit Safety through the City of Allen/City of Rockwall coop agreement. As a member and participant in these cooperative programs, the City has met all formal bidding requirements pertaining to the purchase of the new vehicles and equipment.

Action Needed

For Council consideration are bid awards to Caldwell Country Chevrolet \$342,687 and Pursuit Safety \$166,000 and authorize the City Manager to execute purchase orders.



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Lea Ann Ewing, Purchasing Agent

DATE: January 19, 2021

SUBJECT: PARKS DEPARTMENT EQUIPMENT BID AWARDS

Attachments

Summary/Background Information

Approved equipment in this year's budget is as follows:

<u>Equipment</u>	<u>Budget</u>	<u>Cost</u>	<u>Funding Source</u>
Toro Mowers 4 each	\$47,250	\$45,953.39	General Fund Reserves
Tuttle Complex Scoreboards	\$30,000	\$30,300	Recreation Dev Fund
Myers Park Pond Aerator	\$45,000	\$42,103.22	Recreation Dev Fund

The new equipment bid awards are as follows:

<u>Equipment</u>	<u>Vendor</u>	<u>Purchasing Coop</u>
Toro Mowers 4 each	Professional Turf Products	Buy Board (611-20)
Tuttle Complex Scoreboards	Spectrum Scoreboards	Buy Board (592-19)
Myers Park Pond Aerator	Irrigators Supply	Buy Board (611-20)

As a member and participant in the purchasing cooperative program, the City has met all formal bidding requirements pertaining to the purchase of this new equipment.

Action Needed

For Council consideration are bid awards to the above-mentioned vendors at costs associated with each and authorize the City Manager to execute purchase orders for the equipment.



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Lea Ann Ewing, Purchasing Agent

DATE: January 19, 2021

SUBJECT: PURCHASE OF DIGITAL EVIDENCE MANAGEMENT SYSTEM FOR POLICE

Attachments

Summary/Background Information

Approved in the Police CID budget is \$51,500 to purchase a digital evidence management system. A new and robust digital evidence management system is essential to provide management, secure storage, retention, and ability to view the abundance of varied audio and video (A/V) file formats that are retained as case evidence for compliance with defensible chain of custody requirements.

Command Staff chose the FileOnQ System at a cost of \$51,445 to fulfill the requirements for digital evidence management. This system has proven to perform well when integrated with one of their partners like Tyler Technologies Public Safety software system that is the City's current public safety software system. The FileOnQ system initial cost includes the software, hardware, training and first year support. This system is "sole source". US patent No. 7599942B1 and 8176093. Local Government Code, Procurement, Sec. 252.022, General Exemptions for bidding a procurement of items that are available from only one source, including items that are available from only one source because of patents, copyrights, secret processes, or natural monopolies. This new system purchase is funded by General Fund reserves.

Action Needed

For Council's consideration is the purchase award for the new digital evidence management system for \$51,455 to FileOnQ and authorize the City Manager to execute a contract for this purchase.



CITY OF ROCKWALL, TEXAS MEMORANDUM

TO: Honorable Mayor and City Council

CC: Rick Crowley, City Manager
Joey Boyd, Assistant City Manager
Mary Smith, Assistant City Manager

FROM: Travis E. Sales, Director of Parks and Recreation

DATE: January 19, 2021

SUBJECT: Amendment to current Eligibility Criteria for Youth Sports Programs as a Coach with the Rockwall Baseball & Softball Leagues.

The Safe Sport Act was passed by the United States Congress in 2018. This resulted in athletic organizations having new requirements placed on them in regard to their responsibility in protecting youth sports participants. In particular it has impacted the procedures for background checking coaches at the governing body level.

The City of Rockwall uses the United States Specialty Sports Association (USSSA) as the governing body for youth baseball and softball. USSSA is the predominant governing body for baseball and softball in North Texas and the nation. There is an established expectation by our participants that league and tournament play will be USSSA Sanctioned. USSSA sanctioned leagues allow for the use of the USSSA rule book and USSSA certified umpires in league and tournament play. In addition by participating in a USSSA league you get USSSA points awarded to your team that play a role in seeding for USSSA State Championships in the summer. Prior to the Safe Sport Act, USSSA had not required background checks for coaches participating in USSSA sanctioned tournaments or league play. The City of Rockwall however, has required background checks for coaches participating in our baseball and softball leagues. The City of Rockwall uses Protect Youth Sports to do our background screenings.

Currently our background check procedure follows policy #1 in the Parks, Recreation, and Streets Policies & Administrative Directives; Eligibility Criteria for Youth Sports Programs as a Coach adopted 1/06/2014. Within that policy are guidelines that lay out what would constitute a rejection of a coach's application to participate in our league.

Now that USSSA requires all coaches have a background check completed through their selected background check company (JDP) it puts us in the position of having to require our coaches perform two background checks at a cost.

The City of Rockwall requires coaches to submit and pay for a background check through the company Protect Youth Sports for a reimbursable \$20. USSSA is requiring a background check through the company JDP for \$13.50. Currently we are not prepared in our budget to reimburse coaches for the USSSA background check fee of \$13.50. USSSA's background check company provides a nearly identical search in comparison to what we currently use. Both in regard to the databases searched and the offense criteria used to warrant a rejection. This creates a potential redundancy in requiring two background checks be done for the same purpose.

We would like council to consider approval of requiring all coaches pass and pay for a \$13.50 USSSA background check prior to being issued a Rockwall Baseball and Softball League coach's identification badge. This fee would not be reimbursed by the City as the transaction does not occur within any City of Rockwall point of sale system. The coach identification badge is required to be on the field as a coach for games or practice. By eliminating the City's additional background check we would be relying on the results of USSSA's background check procedure to validate a coach's eligibility to participate in our league. If you are not able to pass the background check through USSSA you would not be eligible to coach in the Rockwall Baseball and softball league.

This would also mean that in the occurrence of a denial, a coach would still have the opportunity to appeal, but that would be handled through USSSA and not the City.



**CITY OF ROCKWALL, TEXAS
MEMORANDUM**

TO: Brad Griggs, Assistant City Manager

FROM: Andy Hesser, Parks and Recreation Manager

DATE: December 31, 2013

**SUBJECT: SUPPLEMENTAL MEMO FOR VOLUNTEER COACH'S
ELIGIBILITY POLICY**

At the December 16th Council meeting, two issues were raised regarding the Coach's Eligibility Policy. The first issue raised by the City Attorney in regards to the membership of the appeal board. The original recommendation included the Police Chief, a City of Rockwall Municipal Judge and a three person subcommittee of the Park Board appointed by the Park Board Chairman.

According to the City Attorney's review of the City of Rockwall Charter during the Council meeting, a person who serves in an appointed position AND who is compensated for that appointment cannot serve as a voting member on another decision-making board.

In consultation with City Attorney Frank Garza following the Council meeting, Mr. Garza recommended that the Municipal Judge can act in an advisory capacity on the appeal board, but not as a voting member. I have included the revised policy recommendation in the Council packet. The amended language is in RED.

The second issue raised by Council was in reference to the time frames associated with the categories of crimes and the respective waiting period. There was much discussion, but no recommendation was made at that time. The policy included in the packet reflects the original unanimous Park Board recommendation as well as the original memo for the December 16th Council meeting.



CITY OF ROCKWALL, TEXAS MEMORANDUM

TO: Brad Griggs, Assistant City Manager
FROM: Andy Hesser, Parks and Recreation Manager
DATE: December 11, 2013
SUBJECT: AMENDED YOUTH SPORTS COACH'S ELIGIBILITY POLICY

BACKGROUND: In February of 2006, City Council approved Park Board's recommendation to establish a policy for Eligibility Criteria for Co-Sponsored Youth Sports Programs as a Coach. This policy was included as a requirement in the Facility Use Agreements between the City and Rockwall Baseball Association (RBA) and Rockwall Girls Softball Association (RGSA) since 2006 to present. Lake Pointe Church Youth Sports Program has had the same requirement in their Facility Use Agreement since 2011.

All volunteers wishing to coach for any of these entities must submit a background check form as well as a signed copy of the Coach's Eligibility Policy indicating that they have received it and read it. A firm selected by the City then conducts the search and reports the data back to the City. The policy recommends various waiting periods in determining applicant's eligibility. For example, Driving Under the Influence requires a three year waiting period before a coach is eligible.

At the August 2013 meeting, staff brought the policy before the Park Board to discuss needed amendments. The first issue concerned the members of the appeal board. The current policy states that the appeal board is made up of the Rockwall Police Chief or designee, a City of Rockwall Municipal Court Judge, a member of the Rockwall County District Attorney's office and a board member of the respective youth sports association i.e. RBA or RGSA. At this time, it was clear that pending budget approval the City would no longer contract with RBA and RGSA and would offer those services as a City operated program. Therefore the policy needs to reflect those changes.

The second issue was the need for further clarification of offenses that affect the eligibility of prospective coaches. There have been instances of offenses that show up on the criminal history search results that may not clearly fall under the category of Crimes of Moral Turpitude, such as certain assaults. An example is that a simple misdemeanor assault may not fall into the category of Crimes of Moral Turpitude as defined by the Texas Attorney General, but assault with a deadly weapon may qualify.

From the August meeting, Park Board's unanimous recommendation is as follows:

- The appeal board shall be the City of Rockwall Police Chief or designee, the City of Rockwall Municipal Judge and a three member subcommittee of the Park Board which shall be appointed by the Park Board Chairman.
- All assaults, family violence and crimes of a sexual nature should be considered on an appeal basis only.


Two other concerns were raised. The first being the need for a clear definition of Crimes of Moral Turpitude, the second was concerning non-disclosure orders issued by a judge in deferred adjudication cases.

In consultation with the City Attorney, the proposed policy amendments address the Park Board's recommendation and concerns by reflecting the changes in the Appeal Board membership; and including a definition and list of crimes that have been recognized under Texas Law as Crimes of Moral Turpitude that could affect the eligibility to serve as a coach or official.

In regards to non-disclosure orders, KRESS the company that the City has used to conduct criminal history searches, collects data from sites that provide public information only. According to KRESS, information that may be included in a judge's order for non-disclosure should not be available as public information through public data portals.

They also stated that their staff is trained to look for possible non-disclosure rulings and would therefore not include this information to the City in their report. Criminal history checks through KRESS are required to be in compliance with the Fair Credit Reporting Act (FCRA). Individuals who submit a form for a criminal history check are also provided a copy of their rights under the FCRA and the process for disputing any information reported by KRESS.

I have included a copy of the previously adopted policy as well as the proposed amended draft in your packet. Staff will be available to answer any questions you may have.

The City of Rockwall 	Parks, Recreation, and Streets Policies & Administrative Directives		
	Policy Number 1	Page # 1 of 2	Origination Date: 2/20/2006 Revision Date: 12/31/2013
	Subject: AMENDED Eligibility Criteria for Youth Sports Programs as a Coach		Date: _____ Director Signature _____

The eligibility of a coach or an official in the City of Rockwall Baseball & Softball League (RBSL) is based on the results of a criminal history background check. A firm selected by the City will conduct the search and report the data back to the City. A coach or other official that is determined by city staff to be ineligible, shall not be allowed on the field of play during practices or games. A potential applicant may appeal the staff decision to a five member panel for final determination. The appeal panel would listen to an applicant's appeal of ineligibility taking into account the type and severity of the offense reported in the background check and all mitigating factors provided by the applicant. **The make-up of this appeal panel is to be the City of Rockwall Chief of Police or his designated representative, the City of Rockwall Municipal Judge, and a three member subcommittee of the Park Board which shall be appointed by the Park Board Chairman.** The ruling by appointed panel shall be final. *The Municipal Judge shall not be a voting member, but act in an advisory capacity only. In the event of a tie vote of two appeal board members in favor and two against, the appeal shall be considered denied and the coach will be deemed ineligible.*

A person shall not be eligible to serve as a coach or official if they have been convicted of or received deferred adjudication community supervision for a crime involving moral turpitude. A person is considered to have been placed on deferred adjudication community supervision if, regardless of the statutory authorization:


- (1) the person entered a plea of guilty or nolo contendere;
- (2) the judge deferred further proceedings without entering an adjudication of guilt and placed the person under the supervision of the court or an officer under the supervision of the court; and
- (3) at the end of the period of supervision the judge dismissed the proceedings and discharged the person.

Moral turpitude is a legal term and has a recognized meaning to include:

- Dishonesty, fraud, deceit, misrepresentation or deliberate violence
- Matters of personal morality
- Conduct committed knowingly and contrary to justice, honesty, principle or good morals
- Baseness, vileness or depravity
- Conduct immoral in itself, regardless of whether it is punishable by law
- Immoral conduct that is willful, flagrant or shameless and shows a moral indifference to the opinion of the good and respectable members of the community

Under Texas Law the following crimes have been recognized as crimes of moral turpitude and shall affect the eligibility to serve as a coach or official:

- **Sexual assault of a child**

The City of Rockwall 	Parks, Recreation, and Streets Policies & Administrative Directives		
	Policy Number 1	Page # 2 of 2	Origination Date: 2/20/2006 Revision Date: 12/31/2013
	Subject: AMENDED Eligibility Criteria for Youth Sports Programs as a Coach		Date: _____ Director Signature

- Lying to a police officer
- Mail fraud
- Tax evasion
- Prostitution
- Purchase of a child
- Indecent exposure
- Failure to stop & render aid
- Theft
- Aggravated assault
- Assault by a male on a female
- Communicating a false alarm
- Murder and indecent exposure
- Swindling
- Bank fraud
- Theft, shoplifting

The safety and protection of the participants in this league are paramount to the interests of coaches or officials. As such, some offenses that may not be crimes of moral turpitude are nonetheless determinative as to eligibility to participate as a coach or official in this league. Potential coaches or officials that may have been convicted or received deferred adjudication community supervision for certain crimes may apply if certain time periods have expired. These time periods run from the date of conviction or the date that the person was discharged from deferred adjudication community supervision. The following waiting periods will be used in determining applicant's eligibility.

- Driving Under the Influence/Driving While Intoxicated/misdemeanor 3 years
- Misdemeanor Crimes of Moral Turpitude 7 years
- Felony Offenses not involving assaults or domestic violence 10 years

Potential coaches or officials that may have been convicted or received deferred adjudication community supervision for certain crimes may be totally excluded if the offense was of a sexual nature, a felony assault or felony domestic violence. Potential coaches or officials that may have been convicted or received deferred adjudication community supervision for these offenses can only participate if the appeal panel grants their appeal of ineligibility.

Printed Name: _____ *Signature & Date:* _____

Councilmember Milder indicated that he would like to leave out the “attempt to purchase” and “possession” aspects of the draft ordinance upon approval.

After input from Mr. Garza, City Attorney, Councilmember Milder clarified and restated his original motion, calling for approval of the ordinance with the understanding that Section 22.71 (b) (2) will be amended to eliminate “attempt to purchase or possess” from the final ordinance prior to second reading. Councilmember Townsend seconded the amended motion.

Councilmember Lewis clarified with the city attorney that the fine for violation of this ordinance is set at \$500 and that this fine would apply to both the person selling the product to a minor and to any minor purchasing such product.

Both Councilmember Lewis and Mayor Sweet expressed that they are thankful the previously discussed moratorium on businesses selling this products did not come to fruition. Mayor Sweet indicated that he shares Councilman Milder’s concerns with regards to these types of products being sold to minors.

Police Chief Mark Moeller indicated he believes his staff will be able to work with the Neighborhood Improvement Services Department on enforcement of this ordinance.

CITY OF ROCKWALL
ORDINANCE NO. 14-

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE CITY CODE OF ORDINANCES TO ESTABLISH CHAPTER 22, ARTICLE II. OFFENSES REGARDING MINORS, SECTION 22-71. PURCHASE BY MINOR OF E-CIGARETTES, REGULATING THE PURCHASE, SALE, OFFER TO SELL, AND INGESTION OF ANY E-CIGARETTE SMOKING PRODUCT TO OR BY ANY MINOR; PROVIDING A PENALTY; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

The motion passed by a vote of 5 in favor, 1 against (White), and 1 absent (Pruitt).

3. Discuss and consider amending the Volunteer Coach’s Eligibility Policy and take any action necessary.

Andy Hesser, Parks & Recreation Manager, came forth and indicated that there were a couple of outstanding issues which warranted further exploration on the part of staff as a result of the December 16 council meeting. Mr. Hesser indicated that the Park Board had previously recommended that the ‘appeal board’ be comprised of the city’s Police Chief, the Municipal Court Judge, and three individuals from the city’s Park Board. City Attorney Frank Garza indicated that he has reviewed this proposed make-up and is recommending the council consider having the Municipal Court Judge, who is appointed by the council, only serve on the appeal board in an advisory / non-voting capacity.

Regarding waiting periods associated with various types of past crimes which may come before the appeal board for consideration, Mr. Hesser indicated that staff will need direction from Council on this if the periods which have been proposed are in need of modification.

Mayor Pro Tem White made a motion to approve the amended Volunteer Coach’s Eligibility Policy. Councilmember Lewis seconded the motion.

Discussion ensued regarding modifying some of the waiting period timeframes. Councilmember Townsend indicated he would like to see 3, 5 and 7 year waiting periods

in the policy in lieu of the proposed 3, 7 and 10. Brief, additional discussion took place related to the various timeframes, but no subsequent motion was made to change the draft policy as presented.

The motion then passed by a vote of 6 ayes with 1 absent (Pruitt).

4. Discuss and consider approval of an ordinance amending the Code of Ordinances in Chapter 32 Signs, Article III. Regulations and Requirements, Division 3. Functional Standards, Section 32-233. Changeable Electronic Variable Message Signs (CEVMs) to repeal this section in its entirety and provide for a new section 32-233, and take any action necessary. (1st reading)

Supervisor of Neighborhood Improvement Services (NIS), Cliff Griffin, came forth and offered background information related to this agenda item. Mr. Griffin indicated that staff has researched the brightness of these types of signs. Only about two to three companies in the United States manufacture the type of signs, and staff has spoken with these sign companies to verify that adjustments can be made to affect the brightness level of these signs without hindering the full effectiveness of the signs for the businesses who use them.

Councilmember Lewis asked how bright the Hyundai sign has been when staff measured it. Mr. Griffin indicated when staff measured it during daytime hours, it was at 7450 NITS. One night when staff measured it, it was over 6000 NITS, and it was on a night when the sign was not functioning properly. He stated that he measured this sign one night recently, and it was at 132 NITS. At that level, it was still totally visible at night.

After the discussion, Councilmember Lewis made a motion to approve the ordinance. Councilmember Milder seconded the motion. The ordinance was read as follows:

CITY OF ROCKWALL, TEXAS
ORDINANCE NO. 14-xx

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE CODE OF ORDINANCES IN CHAPTER 32 SIGNS, ARTICLE III REGULATIONS AND REQUIREMENTS, DIVISION 3. FUNCTIONAL STANDARDS, SECTION 32-233. CHANGEABLE ELECTRONIC VARIABLE MESSAGE SIGNS (CEVM) TO REPEAL THIS SECTION IN ITS ENTIRETY AND PROVIDE FOR A NEW SECTION 32-233; PROVIDING FOR A PENALTY CLAUSE; PROVIDING FOR REPEALING, SAVINGS AND SEVERABILITY CLAUSES; PROVIDING FOR PUBLICATION; AND PROVIDING FOR AN EFFECTIVE DATE OF THIS ORDINANCE.

The motion passed by a vote of 5 in favor, 1 against (White), and 1 absent (Pruitt).

5. Discuss and consider approval of an ordinance amending the Code of Ordinances in Chapter 32 Signs, Article III. Regulations and Requirements, Division 2. Structural Standards, Section 32-204. Wall Signs and Division 6. Specific Sign Regulations, Section 32-306. Wall Signs to eliminate certain provisions regarding wall sign height, and take any action necessary. (1st reading)

Cliff Griffin of the Neighborhood Improvement Services Department provided brief comments related to this proposed ordinance. Councilmember Townsend made a motion to approve the ordinance. Councilmember Milder seconded the motion. The ordinance was read as follows:



CITY OF ROCKWALL, TEXAS MEMORANDUM

TO: Honorable Mayor and City Council

CC: Rick Crowley, City Manager
Joey Boyd, Assistant City Manager
Mary Smith, Assistant City Manager

FROM: Travis E. Sales, Director of Parks and Recreation

DATE: January 19, 2021

SUBJECT: Baseball Nations Umpire Agreement for Rockwall Baseball & Softball League

Baseball Nation is requesting to be the primary provider of baseball umpires to the Rockwall Baseball and Softball League. The Parks and Recreation Department has been using Baseball Nation to provide baseball umpires since 2017 and feel we have had a lot of positive feedback from our baseball participants about the quality of umpires they have provided. Under the Umpire Agreement the City would pay \$30 per umpire for games of 50-60 minute length, \$35 per umpire for games of 75 minute length, \$40 per umpire for games of 90 minute length, and \$45 per umpire for games of 105 minute length. Baseball Nation will also provide an Umpire In Charge (UIC) to be on site at all league games to handle any and all rules questions. The UIC will cost \$90 per league game night along with a \$5 scheduling fee per night. Baseball Nation, is owned and operated by James Belt, provides baseball tournaments all over the DFW area. Costs associated with the baseball umpire contract are funded in 12-45-45-0260.01

**Baseball Nation LLC
And
City of Rockwall**

Baseball Umpire Contract

It is hereby understood and agreed this agreement is a legal and binding contract between Baseball Nation, (hereinafter referred to as “BN”) and City of Rockwall (hereinafter referred to as “City”) this agreement covers youth league baseball and baseball tournament games played within Rockwall, Texas.

1. TERM

Starting February 1st, 2021 and ending December 1st, 2021. With up to three (3) 1-year renewals.

2. SCOPE

BN shall be the primary provider of baseball umpires to the City of Rockwall as covered under the terms of this agreement. The City acknowledges this is a non-exclusive agreement and BN may provide similar officiating services to other organizations located in the City. BN also acknowledges that the City of Rockwall may use other umpires if BN cannot supply the required umpires for either youth baseball leagues or on tournament by tournament basis.

BN acknowledges and agrees to give the City priority in umpire assignments, for games played Monday-Friday, during the term of this Agreement. In cases of BN failure to assign an umpire or an umpire’s failure to be on the field at the assigned game time, or to contact the City of estimated time of arrival prior to the start of the game, and when the game has been delayed by more than ten minutes, the City may find a substitute umpire(s) for the respective game.

It is understood that BN does not employ or train umpires and/or game officials. BN contracts umpires and/or game officials from multiple associations across Dallas/Fort Worth. If an umpire and/or game official is not properly trained, BN will inform the appropriate association of the inadequacies and require the inadequacies to be resolved in a timely manner. As an independent contractor, all umpires and/or game officials provide their own protective gear. BN will communicate to all associations providing umpires the appropriate uniform (per the City) for each scheduled game. Per the City, all umpires must wear official umpire shirt (same color), gray pants, cap (same color), protective gear and black shoes.

3. GAME RATES

\$30.00- 50-60 Minute game with 1 umpire

\$70.00- 75 Minute Game with 2 umpires

\$80.00- 90 Minute Game with 2 umpires

\$90.00-105 Minute game with 2 umpires

BN will schedule two umpires for all games requiring two umpires. However, if for some reason a BN umpire is forced to work a game by himself/herself, that requires two umpires, he or she will be paid time and a half.

4. OTHER FEES

The premature ending of a game due to inclement weather or other conditions not in control of the umpires, where the game is considered a complete game by rule, will be sanctioned by the City as a played/completed game. The game rate for a premature ending game will be the same as if the game was played to completion. The game rate for all games that start, regardless of completion, will be charged the same as if the game was played to completion. Suspended games will be charged at a prorated fee to the city.

BN will provide an on-site UIC for all League games. The UIC will be on site to handle any and all rules question and issues. The UIC will be dressed and ready to take the field, but will not take the field unless required. If the UIC does take the field he/she will receive \$45 regardless of the game time limit.

\$5.00 Scheduling fee

\$90.00-UIC- No payment if on the field

5. PAYMENT OF FEES

For tournament Umpires BN Will submit an invoice by Monday or next business day at noon following the previous weekend's games, to guarantee a payment is received within a reasonable window of time no more than two weeks.

For league play BN will submit an invoice for half of the leagues scheduled games 1 week after the release of the schedule. At the half way point of each season BN will submit a reconciled invoice for the remainder of the scheduled games.

All checks should be mailed to:

Baseball Nation LLC,
1210 W Scyene RD Ste A
Mesquite Texas 75149

All invoices will be emailed to Madison Sisk at (msisk@rockwall.com). BN will be responsible for payment to the umpires and umpire associations that work City scheduled games.

6. GAME SCHEDULES

BN will be provided a schedule Wednesday night by 8:00 PM for any weekend tournament.

7. GAME CANCELLATIONS AND RESCHEDULES

Games cancelled for reasons other than inclement weather, when the City notifies BN more than twenty-four hours prior to game day, will not be assessed a cancellation fee.

A cancellation fee equal to the game fee will be paid to BN for games cancelled due to reasons other than inclement weather or field conditions when City notifies BN less than two hours before game time. Rainouts will be determined by the City and posted to the rainout line no later than 3:00 PM Monday through Friday and 6:30 AM on Saturdays and Sundays. Games cancelled on any given day will not constitute automatic cancellation of games the following day.

If inclement weather forces play to stop during a game, causing games to be postponed it is the responsibility of the umpires to collect all relevant information, allowing us to restart the game at a date TBD. Umpires will also know, understand, and assist city staff with all task related to THOR Guard and our inclement weather policy.

8. EJECTIONS

ALL Game umpires will be required to report to the City any and all ejections and provide details of the situation and cause for the ejection within twenty-four hours of the end of the game in a written report. The City staff member on site for all league games will be available to collect the written report or if incident occurs on Sunday, report shall be emailed to the City at the same time the invoices are sent to the City.

9. RULE CHANGES AND UMPIRE LIABILITY

Any seasonal change to the City Supplemental Rules must be in writing and delivered to the BN (5) days prior to the start of the season. Changes to the rules after the season starts must be presented to the BN in writing (5) days prior to their effective date.

BN will provide proof of insurance, naming the City as an additional insured, with minimum coverage limits of \$1,000,000.00. BN insurance policy shall cover BN on all fields for any and all types of games.

10. CANCELLATION:

Either party may terminate this contract for convenience by submitting to the other party a written notice of cancellation sixty (60) days prior to the effective date of termination.

11. REVIEW AND EVALUATION:

The City reserves the right to perform umpire and/or game official evaluations throughout the season. The City will share any and all participant feedback upon request.

12. AFFILIATION:

City and BN agree to be affiliated with the same governing organizations for tournament play if such organizations require them to do so. The City will be affiliated with USSSA. City Reserves the right to offer tournaments under alternative governing bodies.

13. POINT OF CONTACT:

It is hereby acknowledged there must be a single point of contact from each party to this contract for the purpose of coordinating issues dealing with game schedules, umpire assignments, and contractual issues as outlined in this agreement. The contact for each party to this agreement will be the designee of each organization.

14. MISCELLANEOUS

- (a) Amendments. This Agreement shall not be amended, altered, or changed except by written agreement approved by the City and BN and signed by both Parties.
- (b) Governing Law. This agreement shall be governed by, and construed and enforced in accordance with, the Laws of the State of Texas. Any action or proceeding arising out of or related in any way to this Agreement shall be brought solely in the District Court of Rockwall County, Texas.
- (c) Severability. In the event any provision of this Agreement is held to be unenforceable for any reason; the unenforceability thereof shall not affect the remainder of this Agreement, which shall remain in full force and effect enforceable in accordance with its terms.
- (d) Entire Agreement. This Agreement constitutes the entire agreement of the Parties with respect to the subject matter hereof, and supersedes all proposals or prior agreements, oral or written, and all other communication.

James Belt

Rick Crowley

Date

Date

City of Rockwall
385 S. Goliad
Rockwall, TX 75087



CITY OF ROCKWALL, TEXAS MEMORANDUM

TO: Honorable Mayor and City Council

CC: Rick Crowley, City Manager
Joey Boyd, Assistant City Manager
Mary Smith, Assistant City Manager

FROM: Travis E. Sales, Director of Parks and Recreation

DATE: January 19, 2021

SUBJECT: Baseball Nation Tournament Contract for Leon Tuttle Athletic Complex

Baseball Nation, represented by James Belt, provides baseball tournaments all over the DFW area. Baseball Nation is requesting to utilize Leon Tuttle Athletic Complex for five separate weekend tournaments during the 2021 baseball season. Rockwall Parks and Recreation has entered into agreements with Baseball Nation since 2017 with only positive results to show. Additionally the 5 requested tournament weekends are consistent with what we've agreed to within this agreement in the past. These tournaments are open to all participants wanting to compete in USSSA sanctioned tournament play. Many local Rockwall area teams are familiar with and prefer to play Baseball Nation tournaments.

The relationship has been mutually beneficial and resulted in increased revenues through our concession stand sales and the revenue received from games played at the facility per the agreement. As an example, in 2020 the City of Rockwall received \$28,000 in payments from Baseball Nation from tournaments played at our facility. That is not including the additional sales taken at the concession stand. It is important to note that these tournaments do not conflict with our Rockwall Baseball and Softball League operations. This relationship has been mutually beneficial for both the City of Rockwall and Baseball Nation in providing tournament play opportunities for area teams at our award winning ballpark. City Council is asked to consider approval of the 2021 baseball tournament agreement with Baseball Nation.

AGREEMENT

This agreement is entered into this ____ day of January, 2021 by and between City of Rockwall ("Rockwall") and Baseball Nation LLC ("Baseball Nation").

RECITALS

WHEREAS, Baseball Nation operates two indoor baseball facilities located at 1210 W. Scyene Rd., Suite A, Mesquite, Texas and 6151 CR 124, McKinney, Texas ("Indoor Facilities") and three baseball field complexes located at 1410 Wooded Lake Dr., Mesquite, Texas ("Future Telecom Ballpark"), 11911 Rylie Crest Dr., Balch Springs, Texas ("Baseball Nation Ballpark South") and 6151 CR 124, McKinney, Texas ("Aviator Ballpark"). Baseball Nation provides the following products and services to its customers; team formation, private baseball instruction, baseball camps and clinics, baseball leagues, baseball tournaments and other baseball related services; and

WHEREAS, Baseball Nation desires to rent Leon Tuttle Park (Fields #1, #2, #3, #4, #5 & #6) on the following dates:

- March 27-28, 2021 | DFW Select Super NIT
- April 10-11, 2021 | Reach The Trees
- April 24-25, 2021 | Longhorn Launch Fest
- May 1-2, 2021 | Make A Wish Invitational
- May 22-23, 2021 | USSSA Global State Championship
- June 12-13, 2021 | USSSA State Championship

THEREFORE, City of Rockwall and Baseball Nation hereto agree to the Following:

Section 1 Duties and Responsibilities

- A. Baseball Nation agrees to pay \$65 per game to Rockwall for every game played at Leon Tuttle Park during the Event.
 1. Any game started will be deemed a full game and require the \$65 fee to Rockwall.
 2. All parties to this agreement acknowledge and agree that the rental fee is consideration for game use of Leon Tuttle Park by Baseball Nation within the dates and times herein specified.
- B. Baseball Nation agrees to pay \$12 per bag of quick dry used during the Event by Rockwall.

- C. Baseball Nation will handle pre-tournament emails, phone calls, team registration, accepting team payments and collection, telemarketing campaign, and communications to teams regarding Event.
- D. Baseball Nation will provide an on-site director. The on-site director is responsible for checking in teams, collecting owed funds and gate fees, checking team tournament insurance, log in game scores and pitch counts. The on-site director is responsible for handling any team protest, parent conflicts, coach conflicts, umpire conflicts. The on-site director is expected to be at the assign park an hour before the first game and not leave until the end of the last game on each tournament day.
- E. Rockwall agrees to stripe all fields for Saturday pool play as well as Sunday bracket play.
- F. Rockwall agrees to provide temporary pitching mounds for any/all applicable fields and age divisions at Leon Tuttle Park.

Section 2 Insurance and Indemnification

Baseball Nation will obtain insurance for baseball tournaments held on City property in accordance with this Section.

- A. At least three working (3) days prior to the Event, Baseball Nation shall furnish copies of completed Certificate(s) of Insurance to the City. The certificate(s) or form must have the agent's original signature, including the signer's company affiliation, title and phone number, and be mailed, with copies of all applicable endorsements, directly from the insurer's authorized representative to the City.
- B. Insurance coverage, by companies authorized and admitted to do business in the State of Texas for the amount listed:
 - \$ 500,000 per Occurrence
 - \$1,000,000 Policy Aggregate
- C. **Indemnification:** Baseball Nation whose services are the subject of this Agreement, agrees to INDEMNIFY AND HOLD CITY, ITS OFFICIALS, OFFICERS, AGENTS AND EMPLOYEES HARMLESS against any and all claims by third parties, lawsuits, judgments, cost, liens, losses, expenses, fees (including reasonable attorney's fees and costs of defense), proceedings, actions, demands, causes of action, liability and suits of any kind and nature, including but not limited to, personal injury (including death), property damage, or other harm for which recovery of damages is sought to the extent ARISING OUT OF A NEGLIGENT ACT, ERROR, OR OMISSION OF TRU, OR ANY OFFICER, DIRECTOR OR EMPLOYEE OF Baseball Nation while in the exercise of performance of services under this Agreement. The INDEMNITY provided for in this paragraph shall not apply to any liability resulting from the NEGLIGENCE of CITY, its officers or employees, in instances where such NEGLIGENCE causes personal injury, death, or property damage

Section 2
Miscellaneous

- A. Neither party will assign or transfer this agreement without the express written consent of the other party hereto.
- B. This Agreement between the Parties does not constitute a joint venture or partnership of any kind.
- C. The laws of the State of Texas shall govern the validity, performance and enforcement of this agreement. Parties hereto hereby submit to the exclusive jurisdiction of the courts in Rockwall County, Texas.
- D. No oral statements or prior written material not specifically incorporated herein shall be of any force or effect. The parties hereto agree that in entering into this agreement they have relied solely upon the representations and agreements contained herein and no others. This agreement constitutes the whole agreement of the parties and shall not be modified or amended except by a written agreement executed by and delivered to both parties.
- E. The individuals executing this agreement on behalf of Rockwall and Baseball Nation have the authority to execute this agreement on behalf of their organizations.

Agreed to this _____ day January, 2021.

City of Rockwall

Rick Crowley, City Manager

Baseball Nation LLC

James Belt, President



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: January 19, 2021

SUBJECT: Z2020-055; SUP FOR A GENERAL RETAIL STORE AT 505 N. GOLIAD STREET

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Property Owner Notification Map
Property Owner Notification List
Public Notice
Property Owner Notifications
Applicant's Letter
Floor Plan
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Caroline Harklau of Southern Roots, LLC for the approval of an **ordinance** for a *Specific Use Permit (SUP)* allowing a *General Retail Store* on a 0.23-acre parcel of land identified as Lot 1, Block A, TCB Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary (**1st Reading**).

Action Needed

The City Council is being asked to hold a public hearing and [1] approve, [2] approve with condition, or [3] deny the Specific Use Permit (SUP).



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: January 19, 2021
APPLICANT: Caroline Harklau; *Southern Roots, LLC*
CASE NUMBER: Z2020-055; *SUP for a General Retail Store at 505 N. Goliad Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Caroline Harklau of Southern Roots, LLC for the approval of a Specific Use Permit (SUP) for a *General Retail Store* on a 0.23-acre parcel of land identified as Lot 1, Block A, TCB Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary.

BACKGROUND

The subject property is a 0.23-acre parcel of land identified as Block 20B of the Amick Addition. It is situated within the North Goliad Corridor Overlay (NGC OV) District, and is addressed as 505 N. Goliad Street. Currently situated on the subject property is a 1,916 SF single family home, which according to the *Historic Resource Survey -- performed by the City of Rockwall in 2017* -- was constructed circa 1915, and is identified as a *Medium Contributing Property (i.e. a property that displays an architectural style, use unusual to construction methods, or for some other reason has a potentially significant historic significance)*. According to the City's historic zoning maps, the subject property has been zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses since August 5, 2002. The intent of the Residential-Office (RO) District is to allow for the conversion of older residential homes into low-intensity professional offices and/or retail businesses, which create a transition from the adjacent residential neighborhoods to more intense land uses or higher intensity thoroughfares. In addition, conversion of the homes in Planned Development District 50 (PD-50) would extend the economic life of these structures. With this being said, on June 3, 2019, the City Council approved a Specific Use Permit (SUP) [*i.e. Ordinance No. 19-22*] allowing for a *restaurant less than 2,000 SF without a drive-through or drive-in* to be established. Due to site constraints, the subject property was granted the ability to be classified as a limited service restaurant, which carried a parking requirement of one (1) parking space per 250 SF of building area. This equated to eight (8) parking spaces; however, after reviewing the floor plan for the restaurant only seven (7) parking spaces were required. On June 20, 2019, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) [*i.e. H2019-006*] for the proposed parking areas and changes to the exterior of the existing building. On June 25, 2019, the Planning and Zoning Commission approved a site plan [*i.e. SP2019-015*] for the proposed restaurant (*i.e. Bonafide Betties Pie Company*) on the subject property. This site plan officially converted the use of the property from residential to commercial; however, the restaurant never applied for a Certificate of Occupancy (CO). The property has remained vacant since the completion of the parking lot and changes to the exterior of the existing building.

PURPOSE

The applicant, Caroline Harklau of Southern Roots, LLC, has submitted a request for a Specific Use Permit (SUP) to allow for a *General Retail Store* within Planned Development District 50 (PD-50). According to the applicant the purpose of this request is to allow for the relocation of a clothing boutique (*i.e. Southern Roots*) from the downtown square to the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 505 N. Goliad Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a local boutique (*i.e. Hallie B's*), situated on a 0.2296-acre parcel of land. This business is being operated under a Specific Use Permit (SUP) [*Ordinance No. 20-28; S-229*] allowing a *General Retail Store* and *Hair Salon and/or Manicurist*, and is zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses. Beyond this property is a continuation of Planned Development District 50 (PD-50).

South: Directly south of the subject property are two (2) parcels of vacant land (*i.e. a 0.420-acre parcel of land identified as Lot 1, Block A, Hazel and Olive Addition and a 0.2065-acre parcel of land identified as Lot 21, Block 19C, of the Amick Addition*). These properties are zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses. Beyond this is the couplet or split dividing N. Goliad Street [*SH-205*] into N. Goliad Street and N. Alamo Street. This roadway is identified as a P3U (*i.e. principal arterial, three [3] lane, divided roadway*) -- *in both directions* -- on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan .

East: Directly east of the subject property is N. Goliad Street [*SH-205*], which is identified as a M4U-M (*i.e. modified major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is a *General Retail* store (*i.e. The Lakeside Florist*) and a single-family residential home located along N. Goliad Street. Both properties are zoned Planned Development District 50 (PD-50) for Residential Office District (RO) land uses.

West: Directly west of the subject property are two (2) single-family homes zoned Single-Family 7 (SF-7) District. Beyond this is N. Alamo Street, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are properties zoned Single-Family 10 (SF-10) District.

CHARACTERISTICS OF THE REQUEST

Southern Roots is currently located at 102 E. Rusk Street, and is planning to relocate to a larger facility at 505 N. Goliad Street. This location is located with Planned Development District 50 (PD-50), which has an underlying zoning of Residential Office (RO) District. According to Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the Residential Office (RO) District requires a Specific Use Permit (SUP) for the *General Retail Store* land use. The parking requirement for a *General Retail Store* is calculated at one (1) parking space per 250 SF of area, which would require eight (8) parking spaces [*i.e. 1916 SF/250 SF = 8 Parking Spaces*]; however, based on floor plan provided by the applicant, staff was able to adjust the retail square footage to only require a total of seven (7) parking spaces for the site. This is similar to how the parking was calculated for the approved site plan [*Case No. SP2019-015*], which involved a limited service restaurant at the same parking ratio. Staff has included a copy of the floor plan and an operational condition to the Specific Use Permit (SUP) ordinance requiring that the second floor only be used for storage purposes.

CONFORMANCE WITH THE CITY'S CODES

Based on the approved site plan [*Case No. SP2019-015*] the subject property is in conformance with all density and dimensional requirements stipulated by the Unified Development Code (UDC).

INFRASTRUCTURE

The subject property will not require any additional infrastructure to be constructed as a result of the approval of this Specific Use Permit (SUP).

STAFF ANALYSIS

The intent of the Residential-Office (RO) District is to allow for the conversion of older residential homes into low-intensity professional office and/or retail businesses. This creates a transition from the adjacent residential neighborhoods to more intense land uses or higher intensity thoroughfares. In addition, conversion of this home would extend the economic life of the structure. The use as a *General Retail Store* is consistent with other properties in the district, and the property directly north of the subject property has successfully operated a similar business since 2013. Included in the attached packet is a concept plan, floor plan, and a draft ordinance containing regulations for the proposed land use. Based on staff's review, the

applicant's request does appear to be consistent with the intent of the district; however, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On December 22, 2020, staff mailed 92 notices to property owners and residents within 500-feet of the subject property. There are no Home Owners Associations (HOA's) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) Four (4) property owner notifications from a six (6) property owners within the notification area (*i.e. within the 500-foot buffer*) in favor of the applicant's request.
- (2) One (1) online *Zoning & Specific Use Permit Input Form* from a property owner within the notification area (*i.e. within the 500-foot buffer*) in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) allowing a *General Retail Store*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and summarized as follows:
 - a) The *General Retail Store* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance;
 - b) The operation of the *General Retail Store* shall be limited to the area on the first floor and shall generally conform to the *Floor Plan* depicted in *Exhibit 'C'* of this ordinance;
 - c) The use of the second-floor area shall be limited to storage only. Any other use will require the approval of an amendment to this Specific Use Permit (SUP) and will require additional parking spaces to be added to the subject property;
 - d) Parking along, adjacent to, or in the right-of-way of N. Goliad Street [SH-205] shall be prohibited; and,
 - e) Parking in the front of the building (*i.e. between the front façade of the building and the right-of-way of N. Goliad Street [SH-205]*) shall be prohibited.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On January 12, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) to allow for General Retail Store with the conditions of approval by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-055

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 505 NORTH GOLIAD

Subdivision _____ Lot _____ Block _____

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning _____ Current Use _____

Proposed Zoning _____ Proposed Use _____

Acreage _____ Lots [Current] _____ Lots [Proposed] _____

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner CAROLINE HARKLAU Applicant _____

Contact Person CAROLINE HARKLAU Contact Person _____

Address 102 E. RUSK Address _____

City, State & Zip ROCKWALL, TX 75087 City, State & Zip _____

Phone 972-333-3844 Phone _____

E-Mail hersouthernroots@gmail.com E-Mail _____

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Caroline Harklau [Owner] the undersigned, who stated the information on this application to be true and certified the following:

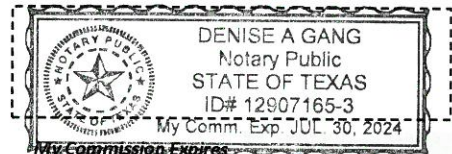
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 30 day of December, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 30 day of December, 2020.


Owner's Signature

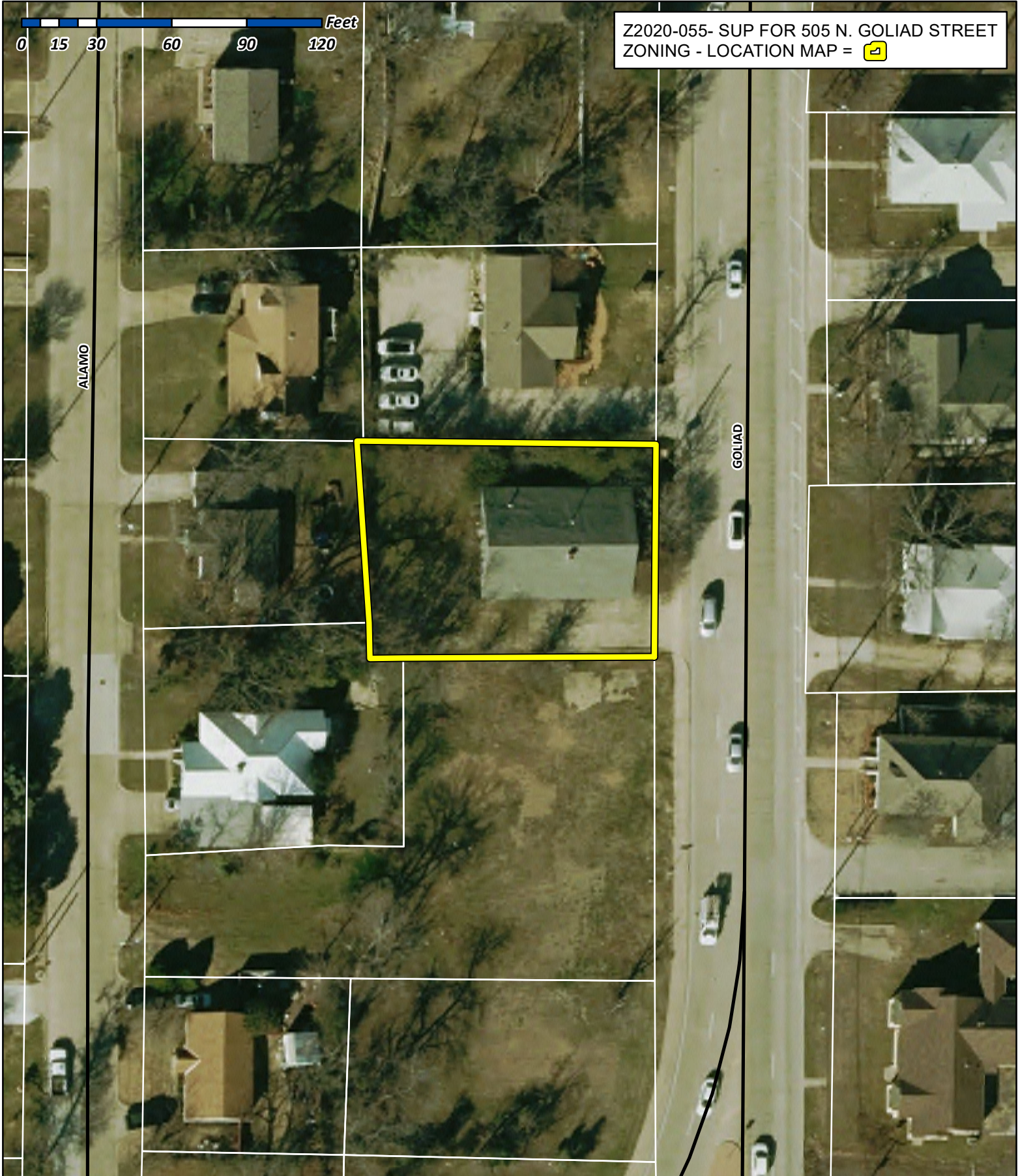
Caroline Harklau

Notary Public in and for the State of Texas



0 15 30 60 90 120 Feet

Z2020-055- SUP FOR 505 N. GOLIAD STREET
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

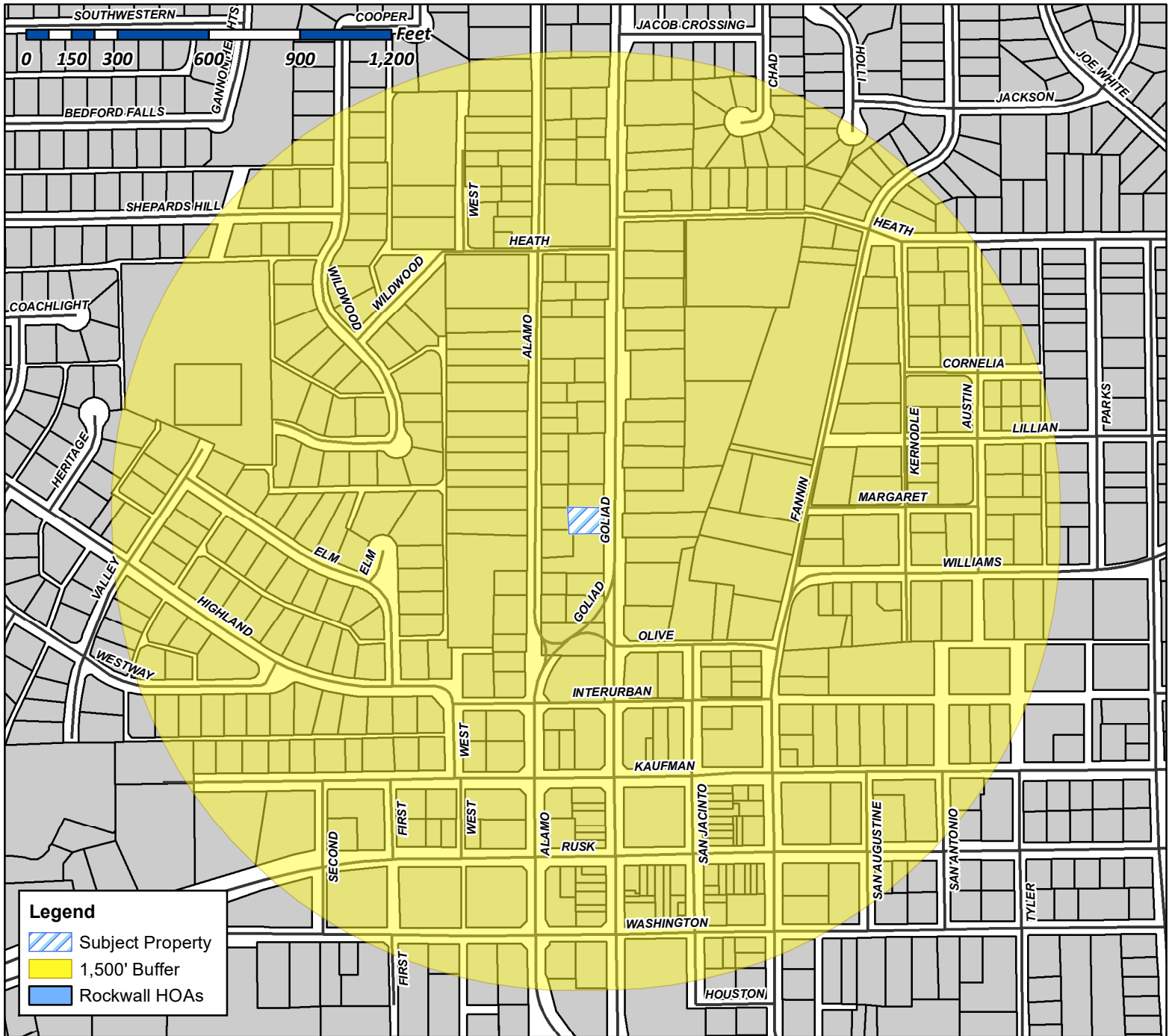
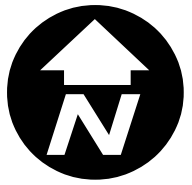




City of Rockwall

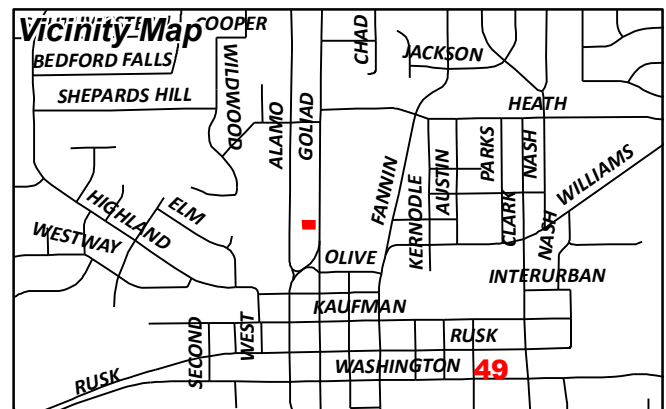
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-055
Case Name: SUP for a General Retail Store
Case Type: Zoning
Zoning: Planned Development District 50 (PD-50)
Case Address: 505 N. Goliad Street

Date Created: 12/19/2020
 For Questions on this Case Call (972) 771-7745



 = RESPONSE RECEIVED

BARKER PERRY H & ELIZABETH D
104 SCENIC DR
HEATH, TX 75032

R & S OPERATING CO LP
105 OLIVEST
ROCKWALL, TX 75087

TEEL BRITTON & BARBARA
10925 ROCKSTONE DR
BALCH SPRINGS, TX 75180

WAGNER GERALD P
112 LOS PECES
GUN BARRELL, TX 75156

R & S OPERATING CO LP
11508 ROYALSHIRE DR
DALLAS, TX 75230

WRIGHT JOHN M & SUSAN L
1605 SEASCAPE CT
ROCKWALL, TX 75087

MEYERS STUART A & BRENDA S
1614 S LAKESHORE DR
ROCKWALL, TX 75087

CRAWFORD STEVE
1709 GASLIGHT CT
SEABROOK, TX 77586

BLACK SHIRLEY M
1924 PALMETTO ISLE DR
MT. PLEASANT, SC 29466

ODOM JAY & ALISON
201 OLIVE ST
ROCKWALL, TX 75087

DAVENPORT RENTAL PROPERTIES LLC
202 INTERURBAN ST
ROCKWALL, TX 75087

PEOPLES DOSVILLE
208 W HEATH ST
ROCKWALL, TX 75087

WARDELL JAKE P AND MEREDITH K
215 GRIFFIN AVE.
ROYSE CITY, TX 75189

ROCKWALL RUSTIC RANCH LLC
240 WILLOWCREST
ROCKWALL, TX 75032

BEDFORD TERRI W
301 N ALAMO RD
ROCKWALL, TX 75087

FERRIS BETH
301 WILDWOOD LN
ROCKWALL, TX 75087

WATCHMEN REAL ESTATE LLC
301 N GOLIAD ST
ROCKWALL, TX 75087

JOY LUTHERAN CHURCH
301 N SAN JACINTO
ROCKWALL, TX 75087

REILLY KELSEY AND DAVID
302 ELM DRIVE
ROCKWALL, TX 75087

JOY LUTHERAN CHURCH
302 N GOLIAD ST
ROCKWALL, TX 75087

LEAL CAROL RHEA & ROLAND
303 N ALAMO RD
ROCKWALL, TX 75087

ANGLE GLENDA ANNE
303 WILDWOOD LN
ROCKWALL, TX 75087

GLASS KATHLEEN J
304 ELM DR
ROCKWALL, TX 75087

BELL MARY NELL
306 ELM DR
ROCKWALL, TX 75087

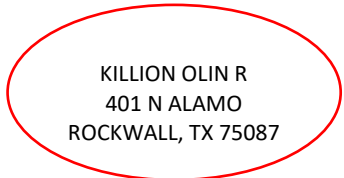
WATCHMEN REAL ESTATE LLC
3077 N GOLIAD
ROCKWALL, TX 75087

SCHWEIKERT FERN ELLEN
308 ELM DR
ROCKWALL, TX 75087

GATES CHARLES H & BRENDA F
310 ELM DR
ROCKWALL, TX 75087

SMITH MARY SUE
312 ELM DR
ROCKWALL, TX 75087

SWIERCINSKY JOSHUA L
3922 MEDITERRANEAN ST
ROCKWALL, TX 75087

 KILLION OLIN R
401 N ALAMO
ROCKWALL, TX 75087

J-PEG PROPERTIES LLC
401 N FANNIN ST
ROCKWALL, TX 75087

MORENO ANTONIO AND SUZANNE T
402 WILDWOOD LANE
ROCKWALL, TX 75087

LAND HEADQUARTERS COMPANY INC
C/O FAIR ROAD PROPERTIES INC
404 N GOLIAD
ROCKWALL, TX 75087

ODOM JAY & ALISON
405 N FANNIN STREET
ROCKWALL, TX 75087

KILLION OLIN R & AGATHA
405 N ALAMO
ROCKWALL, TX 75087

STATE OF TEXAS
405 N GOLIAD
ROCKWALL, TX 75087

JONES GERWYN AND JANE
406 N ALAMO ROAD
ROCKWALL, TX 75087

ROCKWALL RUSTIC RANCH LLC
406 N GOLIAD
ROCKWALL, TX 75087

DAVENPORT RENTAL PROPERTIES LLC
474 KEYSTONE BEND
HEATH, TX 75032

TREVINO BERTHA & LOUIS
4917 SAINT JAMES CT
MESQUITE, TX 75150

MILDER SCOTT & LESLIE
501 CAMP CREEK RD
ROCKWALL, TX 75087

ROMO SEAN R AND STACEY M
501 N ALAMO
ROCKWALL, TX 75087

STATE OF TEXAS
501 N GOLIAD
ROCKWALL, TX 75087

SMITH MARY SUE
502 W RUSK ST
ROCKWALL, TX 75087

CTC TEXAN PROPERTIES LLC
502 N ALAMO
ROCKWALL, TX 75087

BLACK SHIRLEY M
502 N GOLIAD
ROCKWALL, TX 75087

KILLION OLIN R
503 N ALAMO
ROCKWALL, TX 75087

ODOM JAY & ALISON
503 N FANNIN ST
ROCKWALL, TX 75087

CONSELMAN EQUITIES LLC
503 N GOLIAD ST
ROCKWALL, TX 75087

BYRUM RICKY CONN AND JO ANN
504 N ALAMO RD
ROCKWALL, TX 75087

CRAWFORD STEVE
504 N GOLIAD
ROCKWALL, TX 75087

TUCKER PAMELA
505 N ALAMO RD
ROCKWALL, TX 75087

POINTER PRICE AND
MANUEL LOZANO
505 N GOLIAD
ROCKWALL, TX 75087

LAYTON ERIC A
506 N ALAMO
ROCKWALL, TX 75087

MEYERS STUART A & BRENDA S
506 N GOLIAD
ROCKWALL, TX 75087

FLEMING HALLIE B
507 N GOLIAD
ROCKWALL, TX 75087

PATEL ASMINI BHAVIK
508 N ALAMO RD
ROCKWALL, TX 75087

RNDI COMPANIES INC
519 E INTERSTATE 30 # 157
ROCKWALL, TX 75087

FANG PROPERTIES LLC
536 LOMA VISTA
HEATH, TX 75032

ROMO SEAN R AND STACEY M
544 LAUREL LN
FATE, TX 75087

HALL DOUGLAS A & MARCI
601 N FANNIN ST
ROCKWALL, TX 75087

TREVINO BERTHA & LOUIS
601 N ALAMO
ROCKWALL, TX 75087

CARDENAS CECILIO & CARMEN
602 N ALAMO ROAD
ROCKWALL, TX 75087

CRISWELL BARBARA
602 N GOLIAD
ROCKWALL, TX 75087

HAMILTON JOANN
603 N ALAMO RD
ROCKWALL, TX 75087

WRIGHT JOHN M & SUSAN L
603 N GOLIAD
ROCKWALL, TX 75087

DOMINGUEZ, JOSE AND JOHANNA
604 N ALAMO RD
ROCKWALL, TX 75087

CRISWELL BARBARA
604 N GOLIAD
ROCKWALL, TX 75087

RNDI COMPANIES INC
605 N ALAMO
ROCKWALL, TX 75087

CTC TEXAN PROPERTIES LLC
7005 CHASE OAKS BLVD SUITE 180
PLANO, TX 75025

SMITH G DAVID
702 N GOLIAD ST
ROCKWALL, TX 75087

IRBY DENNIS
703 N GOLIAD ST
ROCKWALL, TX 75087

PEOPLES DOSVILLE
703 N ALAMO RD
ROCKWALL, TX 75087

BARKER PERRY H & ELIZABETH D
703 N ALAMO RD
ROCKWALL, TX 75087

J-PEG PROPERTIES LLC
704 N GOLIAD
ROCKWALL, TX 75087

BARKER PERRY H & ELIZABETH D
705 N ALAMO RD
ROCKWALL, TX 75087

WAGNER GERALD P
705 N GOLIAD ST
ROCKWALL, TX 75087

TEEL BRITTON & BARBARA
706 N ALAMO
ROCKWALL, TX 75087

CALABRESE CORINNA RAE
707 N ALAMO RD
ROCKWALL, TX 75087

WARDELL JAKE P AND MEREDITH K
708 N ALAMO
ROCKWALL, TX 75087

SWIERCINSKY JOSHUA L
710 N ALAMO
ROCKWALL, TX 75087

CRISWELL BARBARA
7110 HUNT LANE
ROCKWALL, TX 75087

CHRISTENSEN VALERIE
801 N GOLIAD
ROCKWALL, TX 75087

GUEVARA CARLOS & MONICA A
802 N ALAMO RD
ROCKWALL, TX 75087

CONSELMAN EQUITIES LLC
802 N GOLIAD
ROCKWALL, TX 75087

KUCERA TIMOTHY M
803 N ALAMO RD
ROCKWALL, TX 75087

MILDER SCOTT & LESLIE
803 N GOLIAD ST
ROCKWALL, TX 75087

KILLION OLIN R & AGATHA
8709 DALROCK RD
ROWLETT, TX 75089

POINTER PRICE AND
MANUEL LOZANO
906 N GOLIAD STREET
ROCKWALL, TX 75087

CONSELMAN EQUITIES LLC
PO BOX 2284
ROCKWALL, TX 75087

LAND HEADQUARTERS COMPANY INC
C/O FAIR ROAD PROPERTIES INC
PO BOX 69
KEY BISCAYNE, FL 33149

LAYTON ERIC A
PO BOX 998
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-055: Specific Use Permit for a General Retail Store

Hold a public hearing to discuss and consider a request by Caroline Harklau of Southern Roots, LLC for the approval of a Specific Use Permit (SUP) for a General Retail Store on a 0.23-acre parcel of land identified as Lot 1, Block A, TCB Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, addressed as 505 N. Goliad Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 12, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-055: Specific Use Permit for a General Retail Store

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

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Case No. Z2020-055: Specific Use Permit for a General Retail Store

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

THIS AREA/NEIGHBORHOOD IS SUITABLE FOR THIS USE. NO REASON TO NOT ALLOW THIS TO HAPPEN.

Name: G DAVID SMITH
Address: 702 N. GOLIAD

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2020-055: Specific Use Permit for a General Retail Store

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Great use for this property. Rockwall should install sidewalks on the east side of N. Goliad all the way to the Thumb Thumb shopping center & let N Goliad develop organically as full retail. Rockwall needs to expand the non-residential tax base.

Name: Dr Stuart Meyers
Address: 506 N. Goliad

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2020-055: Specific Use Permit for a General Retail Store

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

We have property at 401, 405, 503 Alamo

Name: Olin + Agatha Killion

Address: 8709 Dalrock Rd. Rowlett TX.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2020-055: Specific Use Permit for a General Retail Store

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

SO EXCITED! WILL BRING SO MUCH TO THE COMMUNITY & EXTEND THE FUN 😊

Name: HALLIE FLEMING
Address: 507 N Goliad St Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-055

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Support

Respondent Information

Please provide your information.

First Name *

Rockwall

Last Name *

Rustic Ranch, LLC

Address *

406 N Goliad

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

capricemichelle@gmail.com

Phone Number

214-789-7364

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Google Forms

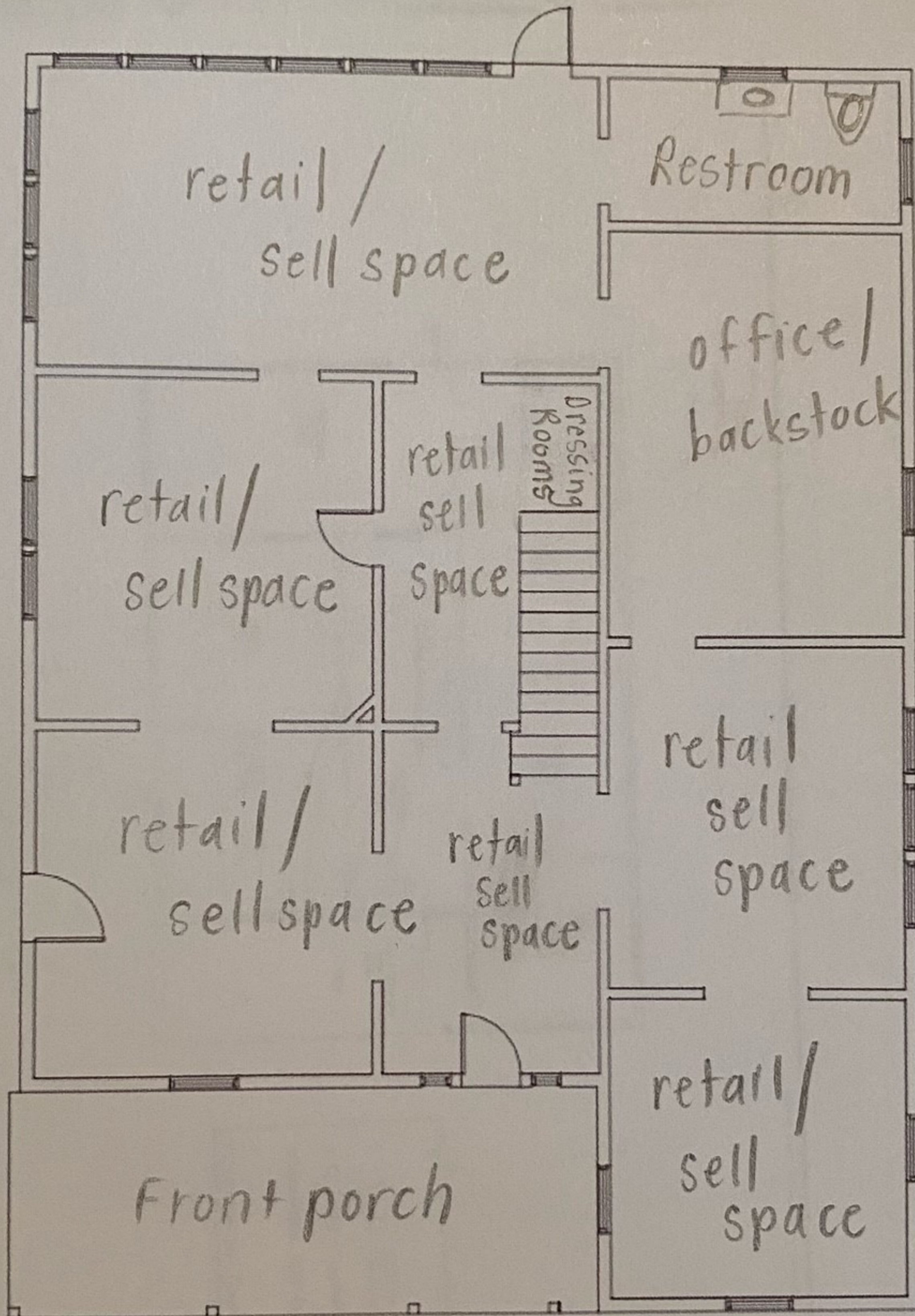


As the owner of Southern Roots during these unprecedented times, it is with great pride I can confirm our success during the year of 2020. We have not only seen growth but have been able to hire more employees and are looking to expand our growing business by moving to a new location. During this pandemic we have focused our efforts on social media marketing and our website. We opened our doors in 2014 in Rockwall and have seen continual growth and support from our community. Southern Roots prides itself on carrying exclusive brands that are not available outside of this area within 30 miles. We have developed a loyal customer base that chooses now more than ever to support local businesses. I am thrilled to see where the next chapter of my business is headed with the growth and community support we have seen during Covid-19 as well as the last 7 years in our Downtown Rockwall location. Now is the perfect time to move to a new building of our own and continue growing and supporting the Rockwall community.

My plan for the new location will create a specialized shopping environment that gives our customers more space to shop as well as parking specifically available to Southern Roots. I am so excited to create a bright and fun retail environment that customers will continue to enjoy and have the same but “upgraded” shopping experience. Southern Roots has grown so much in the last few years and we are in need of a larger back office space where we can receive merchandise and store extra inventory. Our ecommerce division has also grown and we will operate our website business including shipping procedures from our new location as well. Our social media and marketing team will also occupy the back office space. We will continue to focus on community and growth. We hope to hire more local students and create more jobs within our town. What an amazing time to grow in Rockwall. As a graduate from Rockwall High School it is an honor to see how my hometown has flourished. It is an honor to be a part of this community and to continue to expand my growing business in Rockwall Texas.

Thank you for your time and consideration.

Caroline Harklau



CITY OF ROCKWALL

ORDINANCE NO. 21-~~XX~~

SPECIFIC USE PERMIT NO. S-~~XXX~~

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 50 (PD-50) AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A *GENERAL RETAIL STORE* ON A 0.23-ACRE PARCEL OF LAND, ZONED PLANNED DEVELOPMENT DISTRICT 50 (PD-50) FOR RESIDENTIAL OFFICE (RO) DISTRICT LAND USES, AND BEING IDENTIFIED AS BLOCK 20B OF THE AMICK ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Caroline Harklau of Southern Roots, LLC for the approval of a Specific Use Permit (SUP) for a *General Retail Store* on a 0.23-acre parcel of land, zoned Planned Development District 50 (PD-50) for Residential Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, and being identified as Block 20B of the Amick Addition, City of Rockwall, Rockwall County, Texas, addressed as 505 N. Goliad Street, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Planned Development District 50 (PD-50) [*Ordinance No. 17-19*] and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Planned Development District 50 (PD-50) [*Ordinance No. 17-19*] and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of a *General Retail Store* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [*Ordinance No. 20-02*] on the *Subject Property*; and

SECTION 2. That the *Subject Property* shall be used and developed only in the manner and for

the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in *Planned Development District 50 (PD-50)*, and *Subsection 01.01, Use of Land and Buildings*, of *Article 04, Permissible Uses*, and *Subsection 04.02, Residential Office (RO) District*, of *Section 04, Commercial Districts*, of *Article 05, District Development Standards*, and *Subsection 06.04, North Goliad Corridor Overlay (NGC OV) District*, of *Section 06, Overlay Districts*, of *Article 05, District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future, and shall be subject to the following additional conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *General Retail Store* land use on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The *General Retail Store* shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance;
- 2) The operation of the *General Retail Store* shall be limited to the area on the first floor and shall generally conform to the *Floor Plan* depicted in *Exhibit 'C'* of this ordinance;
- 3) The use of the second-floor area shall be limited to storage only. Any other use will require the approval of an amendment to this Specific Use Permit (SUP) and will require additional parking spaces to be added to the subject property;
- 4) Parking along, adjacent to, or in the right-of-way of N. Goliad Street [SH-205] shall be prohibited; and,
- 5) Parking in the front of the building (*i.e. between the front façade of the building and the right-of-way of N. Goliad Street [SH-205]*) shall be prohibited.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits*, of Article 11, *Development and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- 1) Upon obtaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance

shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF FEBRUARY, 2021.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

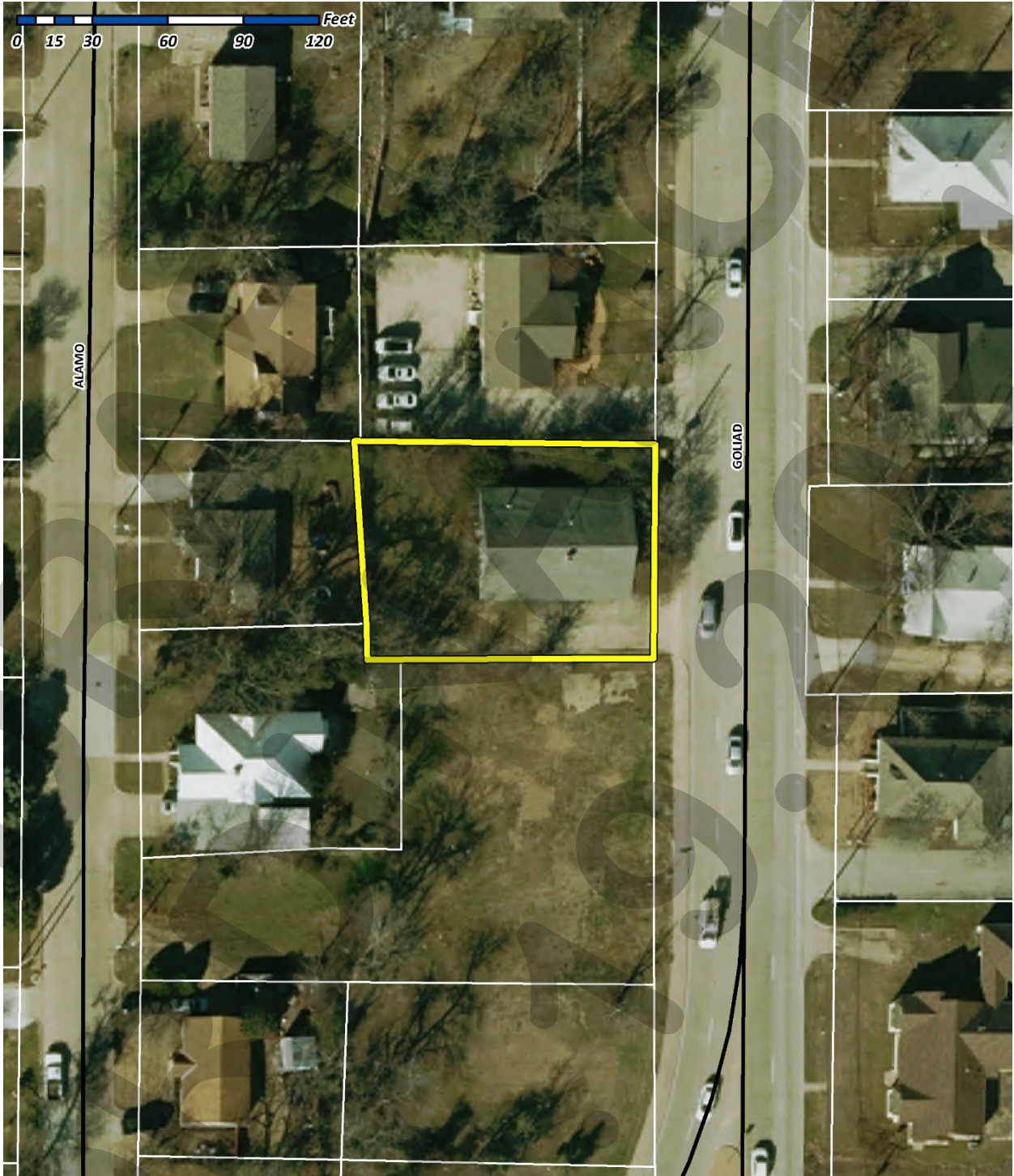
APPROVED AS TO FORM:

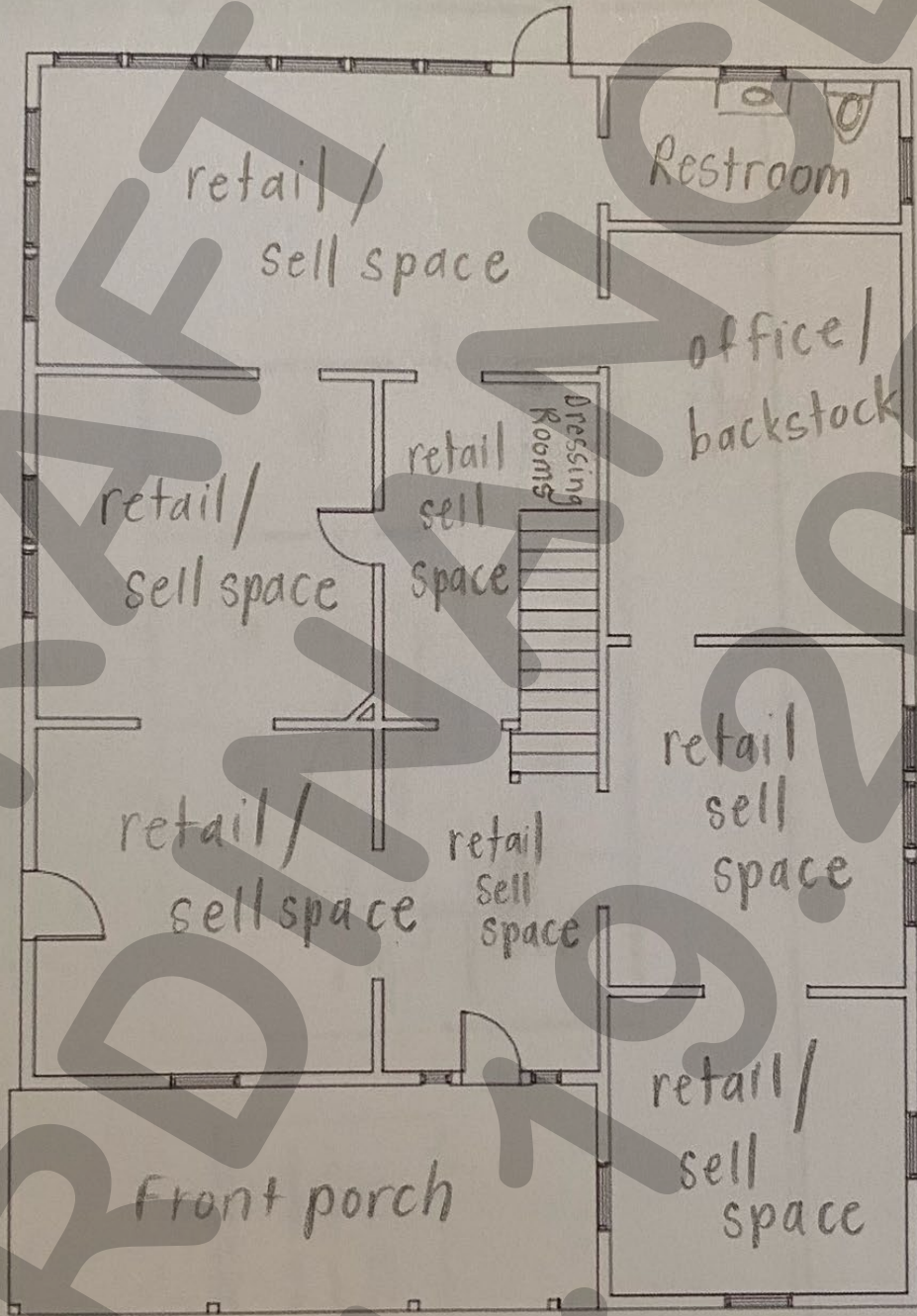
Frank J. Garza, *City Attorney*

1st Reading: January 19, 2021

2nd Reading: February 1, 2021

Legal Description: Block 20B, Amick Addition
Address: 505 N. Goliad Street







MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: January 19, 2021

SUBJECT: Z2020-056; ZONING CHANGE (NS & SF-16 TO PD) FOR NELSON LAKE ESTATES

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Neighborhood Notification Email
Property Owner Notification Map
Property Owner Notification List
Public Notice
Property Owner Notifications
Applicant's Letters
Survey
NRCS Easement
Concept Plan
Fiscal Impact Analysis
Draft Ordinance
Z2005-007: Current Zoning Case Memo and Minutes

Summary/Background Information

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of an **ordinance** for a *Zoning Change* from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary (**1st Reading**).

Action Needed

The City Council is being asked to hold a public hearing and [1] approve, [2] approve with condition, or [3] deny the Zoning Change.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: January 19, 2021
APPLICANT: Ryan Joyce; *Michael Joyce Properties, LLC*
CASE NUMBER: Z2020-056; *Zoning Change (NS & SF-16 to PD) for Nelson Lake Estates*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a Zoning Change from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on August 30, 1999 by *Ordinance No. 99-33*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 4, 2005, the City Council approved *Ordinance No. 05-16 [Case No. Z2005-007]* changing the zoning of the subject property from an Agricultural (AG) District to a Neighborhood Services (NS) District and a Single-Family 16 (SF-16) District. The concept plan included with *Ordinance No. 05-16* showed that the subject property would include 104.8-acres of land zoned Single-Family 16 (SF-16) District with the remainder of the subject property (*i.e.* 16.36-acres) being designated for Neighborhood Service (NS) District land uses. The residential portion of the concept plan also showed the provision of 106 single-family residential lots, and that ~56.00-acres of the 104.8-acres designated for residential land uses would be dedicated for open space. The overall proposed density of this development was 1.01 dwelling units per acre. Despite this plan being adopted by the City Council, the subject property has remained vacant since its annexation into the City. *Staff has provided a copy of the case memo and minutes from the Planning and Zoning Commission and City Council meetings for this case in the attached packet.*

On October 16, 2020, the applicant -- *Ryan Joyce of Michael Joyce Properties, LLC* -- submitted an application requesting to change the zoning of the subject property from a Neighborhood Services (NS) District and Single-Family 16 (SF-16) District to a Planned Development District for Single-Family 10 (SF-10) District land uses. Specifically, the applicant was proposing to entitle the subject property for a 264-lot single-family, residential subdivision that would incorporate lots that were 60' x 120' (*i.e.* a minimum of 7,000 SF) and 70' x 120' (*i.e.* a minimum of 8,400 SF). This request went before the Planning and Zoning Commission on November 10, 2020, and a motion to recommend denial of the case was approved by a vote of 4-3, with Commissioners Womble, Deckard, and Welch dissenting. Following this action -- *on November 16, 2020* --, the City Council failed to approve a motion adopting the zoning change by a supermajority vote. The motion to approve failed by a vote of 5-2, with Councilmembers Campbell and Macalik dissenting. Since the motion to approve failed and no subsequent motion was made, the failure was considered to be a denial with prejudice.

In conformance with Subsection 02.05(C), *Reapplication*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) the applicant submitted a written request outlining changes to the lot mix, setbacks, and minimum area/dwelling unit square footages. In accordance with the procedures of the Unified Development Code (UDC), the Director of Planning and Zoning forwarded the request to the Planning and Zoning Commission for consideration, and on December 8, 2020 the Planning and Zoning Commission approved a motion to allow the applicant to resubmit an application by a vote of 6-1, with Commissioner Welch dissenting.

PURPOSE

On December 18, 2020, the applicant -- *Ryan Joyce of Michael Joyce Properties, LLC* -- resubmitted an application requesting to change the zoning of the subject property from a Neighborhood Services (NS) District and Single-Family 16 (SF-16) District to a Planned Development District for Single-Family 10 (SF-10) District land uses. Specifically, the applicant is proposing to entitle the subject property for a 260-lot single-family, residential subdivision that will incorporate lots that are 60' x 120' (i.e. a minimum of 7,000 SF), 70' x 120' (i.e. a minimum of 8,400 SF), and 72' x 120' (i.e. a minimum of 8,600 SF).

ADJACENT LAND USES AND ACCESS

The subject property is located at southeast corner of the intersection of FM-1141 and FM-552. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is FM-552, which is identified as a TXDOT4D (i.e. *Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare is a 47.31-acre portion of a larger 56.31-acre tract of land (i.e. *Tract 3 of the M. Simmons Survey, Abstract No. 194*), which is zoned Agricultural (AG) District. Currently situated on this property are two (2) agricultural accessory structures. Beyond this property is the corporate limits of the City of Rockwall.

South: Directly south of the subject property is North Country Lane, which is identified as a M4U (i.e. *major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this thoroughfare are two (2) tracts of land (i.e. *Tract 14 of the J. M. Gass Survey*), which are zoned Agricultural (AG) District. The 48.267-acre tract of land is owned by the City of Rockwall, is currently vacant (with the exception of the *North Country Lane Water Tower*), and is the future site for the *Alma Williams Park*. The other tract of land is a 101.43-acre tract of land that currently has a 660 SF single-family home and multiple agricultural accessory structures situated on it.

East: Directly east of the subject property are the corporate limits of the City of Rockwall. Beyond this are residential properties that are situated within the City of Rockwall's Extraterritorial Jurisdiction (ETJ).

West: Directly west of the subject property is an Elementary School (i.e. *Celia Hays Elementary School*) on a 11.036-acre parcel of land (i.e. *Lot 5, Block C, Dalton Ranch, Phase 2 Addition*) that is owned by the Rockwall Independent School District (RISD). Also, adjacent to the subject property is Phase 1 of the Dalton Ranch Subdivision, which consists of 151 single-family residential lots on 62.33-acres. This subdivision is zoned Planned Development District 58 (PD-58) for Single-Family 10 (SF-10) District land uses. Beyond this is the Stoney Hollow Subdivision, which consists of 96 single-family residential lots on 41.88-acres. This subdivision is zoned Single-Family 16 (SF-16) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted a concept plan and development standards for the proposed residential subdivision. The concept plan shows that the 121.16-acre subject property will consist of 260 single-family residential lots that will be broken down into three (3) lot types (i.e. 60' x 120', 70' x 120', and 72' x 120'). More specifically, the development will incorporate 134, 60' x 120' (i.e. a minimum of 7,200 SF) lots; 68, 70' x 120' (i.e. a minimum of 8,400 SF) lots; and 58, 72' x 120' (i.e. a minimum of 8,600 SF) lots. This would translate to a density of 2.15 dwelling units per acre for the total development. The minimum dwelling unit size (i.e. *air-condition space*) will be 2,200 SF. According to the applicant, the proposed housing product will be similar to the product that was constructed in *Phases IIA & IIB of the Breezy Hill Subdivision* (i.e. the *Type 'A', 60' x 120'* and *Type 'B', 70' x 120'* lot products from *Planned Development District 74 [PD-74]*) [see example



FIGURE 1: EXAMPLE HOUSING PRODUCT FROM BREEZY HILL, PHASE IIA

in Figure 1]; however, in addition to the *J-Swing* or *Traditional Swing* driveway configuration the applicant will be requesting 35% of the homes (i.e. 40% of the Type 'A' Lots and 30% of the Type 'B' & 'C' Lots -- as identified in Table 1: Lot Composition below) be allowed to be constructed with *Flat Front Entry* garages. The proposed housing product will incorporate a minimum masonry requirement of 90% (with a minimum of 85% on each façade), and be subject to the upgraded anti-monotony requirements that were adopted by the City Council in September of 2019. Staff should to point out that this is significant because after the approval of HB2439 (i.e. the building materials bill which prohibited City's from regulating building materials), the current Single-Family 16 (SF-16) District does not have any material requirements (i.e. the buildings could be built out of any materials allowed by the International Building Code [IBC]); however, by the applicant consenting to the material requirements through the Planned Development District, the City could then hold the applicant to the 90% minimum masonry requirement. The proposed Planned Development District will also be subject to the land uses and requirements stipulated for the Single-Family 10 (SF-10) District unless specifically called out in the Planned Development District ordinance. The following is a summary of the lot composition and density and dimensional standards contained in the proposed Planned Development District ordinance:

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	60' x 120'	7,000 SF	134	51.54%
B	70' x 120'	8,400 SF	68	26.15%
C	72' x 120'	8,600 SF	58	22.31%
<i>Maximum Permitted Units:</i>			260	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	A	B	C
<i>Minimum Lot Width</i> ⁽¹⁾	60'	70'	72'
<i>Minimum Lot Depth</i>	120'	120'	120'
<i>Minimum Lot Area</i>	7,000 SF	8,400 SF	8,600 SF
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'
<i>Minimum Side Yard Setback</i>	5'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	36'	36'	36'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,200 SF	2,200 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- 1: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- 4: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of the encroaching faces.
- 6: Flat front entry garage configurations are permitted on up to 35% (i.e. a maximum of 91 lots) of the total number of lots provided that: [1] no more than 45% (i.e. a maximum of 60 lots) of the lots for Lot Type 'A' have a flat front entry garage, [2] no more than 25% (i.e. a maximum of 31 lots) of the combined total of the Lot Type 'B' and Lot Type 'C' may have a flat front entry garage, and [3] the front yard building setback for all lots with a flat front entry garage is increased to a minimum of 25-feet.

With regard to the proposed amenities, the concept plan provided by the applicant shows that the proposed development will provide [1] ~50.34-acres of open space (17.62-acres will be outside of the floodplain -- after reclamation -- and the development will be credited with 33.98-acres of open space [i.e. 32.72-acres x ½ = 16.36-acres + 17.62-acres = 33.98-acres]), [2] a one (1)

acre amenity center, and [3] a trail system. The open space required for this development is 24.232-acres, and the applicant is exceeding this by 9.748-acres (or 8.04%). The proposed trail system will be constructed along the edge of the floodplain running north and south, and utilize the required sidewalks along FM-552 and FM-1141 to create a loop through the development. In addition, pedestrian paths connecting the north side of the development to the amenities center via a trail will also be incorporated.

INFRASTRUCTURE

Based on the applicant's concept plan and the proposed density, the following infrastructure is required to be constructed to provide adequate public services for the proposed development:

- (1) Roadways. The applicant shall verify the right-of-way width of FM-1141 and ensure there is 85-feet of right-of-way, and dedicate any area that is within 42.50-feet of the centerline of the roadway. The applicant will also need to verify the current right-of-way width of North Country Lane, and dedicate any area within 32.50-feet of the centerline of the roadway. The applicant shall also verify the right-of-way along FM-552, which currently has approved construction plans per the Texas Department of Transportation (TXDOT).
- (2) Water. The applicant shall be required to construct an eight (8) inch looped water line through the site. In addition, the applicant must install a 12-inch water line along FM-552 and FM-1141 per the Master Water Plan.
- (3) Wastewater. The applicant shall install the required eight (8) inch sewer line through the subject property and connect it to the 15-inch sanitary sewer line that is currently located on the westside of FM-1141. In addition -- *and in accordance with the Master Wastewater Plan --*, a 20-foot sewer line easement with a 30-foot temporary construction easement shall be dedicated along Nelson Creek. The applicant will be required to perform an infrastructure study to determine there is capacity in the Stoney Hollow lift station basin and -- *if so --* what appurtenances will be required to be upgraded or constructed with the proposed development. The applicant will also be required to pay the required pro-rata on the existing Stoney Hollow basin infrastructure.
- (4) Drainage. The applicant shall be required to perform a flood study to delineate the fully developed 100-year floodplain for all ponds, creeks or streams, and draws on the subject property. Detention will be required and sized per the required detention study. The applicant will also be required to perform a Wetlands and Waters of the United States (WOTUS) study for the existing pond, and receive written permission from the Natural Resources Conservation Service (NRCS) regarding any encroachment or construction around Nelson Lake.

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC) and the Engineering Department's *Standards of Design and Construction Manual* in the following ways:

- (1) Alleyways. The Engineering Department's *Standards of Design and Construction Manual* stipulates that "(a)lleys shall be provided in all residential areas and shall be paved with steel reinforced concrete..." The code does grant the City Council the ability to "... waive the residential alley requirement, if it is in the best interest of the City." [Page 14; Section 2.11 of the *Standards of Design and Construction Manual*]
- (2) Garage Configuration. The Unified Development Code (UDC) requires that, "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front building façade for front entry garages unless it is a *J-Swing* [or *traditional swing*] garage where the garage door is perpendicular to the street."

Applicant's Response to (1) & (2): In lieu of providing the required alleyways, the applicant is proposing to provide 65% *J-Swing* or *Traditional Swing* and 35% *Flat Front Entry* (i.e. where the garage is even with the front façade). This translates to 40% of the *Type 'A' Lots* (i.e. 60' x 120' lots) and 20% of the *Type 'B' & 'C' Lots* (i.e. *Type 'B': 70' x 120' lots and Type 'C': 72' x 120' lots*) being in *Flat Front Entry* garage configuration. As a compensatory measure the applicant is proposing to increase the front yard building setback from 20-feet to 25-feet for homes that have a *Flat Front Entry* garage

configuration. The applicant is also proposing to provide decorative wood garage doors or garage doors that incorporate a wood overlay on an insulated metal door. All garage doors will also incorporate carriage style hardware. In addition, the applicant will also have the ability to provide *Recessed Front Entry* (i.e. where the front of the garage is setback a minimum of 20-feet from the front façade of the house).

- (3) Landscape Buffers. According to Subsection 02.01, *General Standards for Planned Development Districts*, of Article 10, *Planned Development Regulations*, of the Unified Development Code (UDC), "(a) minimum of a 30-foot landscape buffer shall be provided adjacent to all perimeter roadways (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage."

Applicant's Response to (3): In this case, the proposed Planned Development District ordinance adheres to this requirement along both FM-552 and FM-1141; however, along North Country Lane the applicant is proposing a ten (10) foot landscape buffer with four (4) inch caliper evergreen trees being planted on 15-foot centers adjacent to where homes will back to the roadway. Staff should point out that the applicant has incorporated language that will allow the Planning and Zoning Commission the ability to review an alternative screening plan making use of the existing trees at the time of PD Site Plan; however, any changes from the stated requirement is a discretionary approval for the Planning and Zoning Commission.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the Northeast Residential District and is designated for Commercial/Retail and Low Density Residential land uses on the Future Land Use Plan. The applicant's request will necessitate that the portion of the subject property that is designated for Commercial/Retail land uses be changed to Low Density Residential land uses on the Future Land Use Plan. This change is discretionary to the City Council; however, staff should point out that this change will bring the land use ratios closer to the desired 80% residential/ 20% commercial land uses called for by the Comprehensive Plan [*Goal 01, Policy 1; Section 02.01 of Chapter 1*]. Specifically, the proposed zoning change will shift the residential/commercial ratio from 75.92%/24.08% to 76.24%/23.76%. Should the City Council choose to approve this request staff has added a condition of approval that would make the necessary change to the Future Land Use Map.

According to the Comprehensive Plan, Low Density Residential land uses are defined as "... residential subdivisions that are two (2) units per gross acre or less; however, a density of up to two and one-half (2½) units per gross acre may be permitted for developments that incorporate increased amenity and a mix of land uses ...". In addition, the Comprehensive Plan defines amenity as, "... developments that provide some of the following: [1] open space beyond the required 20%, [2] a golf course and/or other comparable recreation facilities, [3] amenity/recreation facilities, [4] school site integration, [5] dedication or development of park land beyond the required park land dedication, [6] additional development of trails, [7] other amenities deemed appropriate by the City Council." In this case, the applicant is requesting a 2.15 dwelling units per gross acre, and is proposing to construct [1] an amenity center, [2] open space in excess of 20% (i.e. 24.232-acres of open space), and [3] a trail system. The proposed amenities do appear to justify the requested density; however, density under any Planned Development District request is a discretionary decision for the City Council.

According to the Northeast Residential District, the district "... is characterized by its established low-density residential subdivisions and rural/estate style lots ... [and] is anticipated to be a future growth center for the City, having several large vacant tracts of land suitable for low-density, residential development." In addition, under the *District Strategies for Suburban Residential* (i.e. the correct designation for the proposed development according to the Comprehensive Plan), "(a)ny new *Suburban Residential* developments should include a mix of larger to mid-sized lots. Lots in these developments should not be smaller than existing *Suburban Residential* in this district." In this case, the applicant is proposing lot products that range from 60' x 120' (or a minimum of 7,200 SF) to 72' x 120' (or a minimum of 8,600 SF). After reviewing the district, staff has identified the following *Suburban Residential* developments that have similar lot sizes:

- (1) Ladera of Rockwall. This development is platted as one (1) large lot, but calls out *Artificial Lots* (i.e. setup like a condominium regime) that consist of the following lot products: 20, 44.5' x 80'; 31, 42' x 77'; 41, 54' x 60'; and 6, 64' x 50'.
- (2) Saddle Star. 143, 70' x 125' and 33, 80' x 125'.
- (3) Dalton Ranch. 75' x 120' and 80' x 125'.
- (4) Gideon Grove. 45, 80' x 125' and 27, 100' x 150'.

Staff should point out that since the applicant is proposing a lot size less than 70' x 125' (or a minimum of 8,750 SF), the request does not conform to the district strategy; however, as with all zoning cases this is discretionary to the City Council.

With regard to the policies for residential development contained in the Comprehensive Plan, staff has identified the following non-conformities and provided the following recommendations to the applicant:

RED: NOT INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

BLUE: INCORPORATED INTO THE PLANNED DEVELOPMENT DISTRICT ORDINANCE.

- (1) CH. 08 | Sec. 02.03 | Goal 1; Policy 2: To maximize the value of properties that are directly adjacent to or across the street from a park and/or public open space, the house on the property should face onto the park and/or public open space, and should not back or side to the park and/or open space. If homes face onto a park and/or public open space and there is no public street, then the homes should be accessed via a mew-type street design.

Staff Response: The houses at the end of each block face should be turned to front onto the open space areas as opposed to siding to them as currently depicted. The applicant has chosen not to incorporate this into the Planned Development District ordinance.

- (2) CH. 08 | Sec. 02.03 | Goal 1; Policy 5: Design neighborhoods utilizing the Housing Tree Model (a method of laying of single-family lots so that the largest lots are located adjacent to main entries or perimeter streets, and smaller lots are located internal to the subdivision).

Staff Response: The concept plan should be rearranged so that larger lots (i.e. 70' x 120' lots) are adjacent to the major roadways (i.e. FM-552, FM-1141, and North Country Lane). This will reduce the number of lots backing to these roadways and bring the plan into conformance with the Housing Tree Model. Additionally, a larger lot product (e.g. 80' x 120' lots) could be incorporated to bring the concept plan into closer compliance with the Comprehensive Plan. The applicant has incorporated the Housing Tree Model into the concept plan, but has chosen not to incorporate an additional larger lot product.

- (3) CH. 08 | Sec. 02.03 | Goal 3; Policy 4: Require a larger separation between homes to make neighborhoods feel more spacious. This separation should be no less than 12-feet (i.e. six [6] foot side yard building setback) and should be scaled to the height of the home.

Staff Response: Increase the side yard setbacks to six (6) feet on both lot types to create a greater separation between structures. The applicant has chosen to incorporate this on Lot Types 'B' & 'C' (i.e. 70' x 120' and 72' x 120' lots), but has continued to keep the five (5) foot setbacks on Lot Type 'A' (i.e. 60' x 120').

- (4) CH. 08 | Sec. 02.02 | Goal 3; Policy 4: All parks and open space should provide an integrated trail system that serves the adjacent neighborhood areas.

Staff Response: Provide a trail system that connects to the sidewalks along FM-552 and North Country Lane, and that runs through the open space area adjacent to Nelson Lake. The applicant has incorporated this recommendation into the proposed Planned Development District ordinance.

- (5) CH. 08 | Sec. 02.03 | Goal 3; Policy 3: In cases where flat front entry garages (i.e. even with the front façade of the primary structure) are requested as part of a development no greater than 20% should be incorporated into the development. In addition, flat front entry garages should have a minimum of a 25-foot front yard building setback to allow vehicles to be parked in the driveway without overhanging public right-of-way. This type of garage may not be appropriate for all developments and should be generally discouraged.

Staff Response: If a Flat Front Entry Garage configuration is being requested it should be limited to 20% and the front building setback of these properties should be increased to 25-feet. The applicant has chosen to request 35% Flat Front Entry Garages, but has consented to upgraded garage door requirements and a minimum of a 25-foot front yard building setbacks on all Flat Front Entry Garages.

Taking all of this into account, the concept plan does maintain general conformance to the residential policies and guidelines contained in the OURHometown Vision 2040 Comprehensive Plan; however, the approval of the applicant's request remains a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On December 19, 2020, staff mailed 37 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Dalton Ranch Homeowner's Association (HOA), which is the only HOA or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) One (1) property owner notification from a property owner within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request.
- (2) Eight (8) emails from property owners outside of the notification area, but within the City limits of the City of Rockwall opposed to the applicant's request.
- (3) Six (6) emails from people who live outside of the City limits.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to rezone the subject property from a Neighborhood Services (NS) District and Single-Family 16 (SF-16) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained in the Planned Development District ordinance;
- (2) By approving this zoning change, the City Council will effectively be approving changes to the Comprehensive Plan and Future Land Use Map. Specifically, this will change the designation of portions of the subject property from Commercial/Retail and Low Density Residential designation to a Low Density Residential designation; and,
- (3) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On January 12, 2021 the Planning and Zoning Commission approved the applicant's request to rezone the subject property from Neighborhood Services (NS) District and Single-Family 16 (SF-16) District to a Planned Development District for Single-Family 10 (SF-10) District land uses by a vote of 6-1, with Commissioner Chodun dissenting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1447 FM 1141, Rockwall, TX 75087

Subdivision J. M. Glass Survey

Lot N/A

Block N/A

General Location Southeast corner of FM 552 and FM 1141

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning NS and SF-16

Current Use AG

Proposed Zoning PD - SF - 7

Proposed Use Residential subdivision

Acreage 121.16

Lots [Current] 109

Lots [Proposed] 262

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167, the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Unison Investment, a California LP

Applicant Michael Joyce Properties, LLC

Contact Person JEN-LIANG WU, General Partner

Contact Person Ryan Joyce

Address 23545 Crenshaw Blvd

Address 1189 Waters Edge Dr

Ste 201

City, State & Zip Torrance, CA 90505

City, State & Zip Rockwall, TX 75087

Phone 310-325-0300

Phone 512-965-6280

E-Mail Uniinv@aol.com

E-Mail Ryan@michaeljoyceproperties.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared JEN LIANG WU [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17 day of DECEMBER, 2020

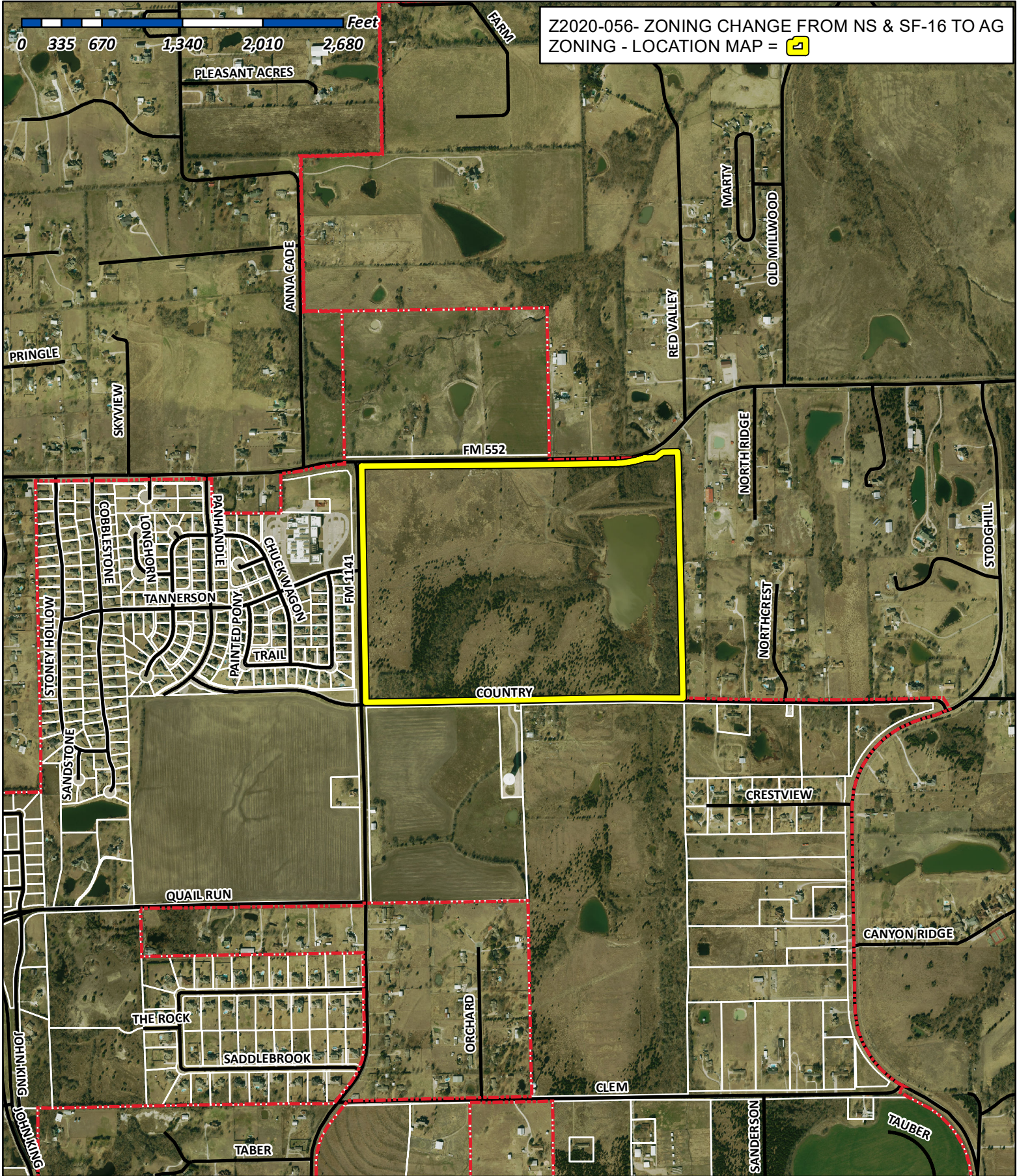
Owner's Signature


Notary Public in and for the State of Texas



My Commission Expires

01/31/2024



Z2020-056- ZONING CHANGE FROM NS & SF-16 TO AG
 ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

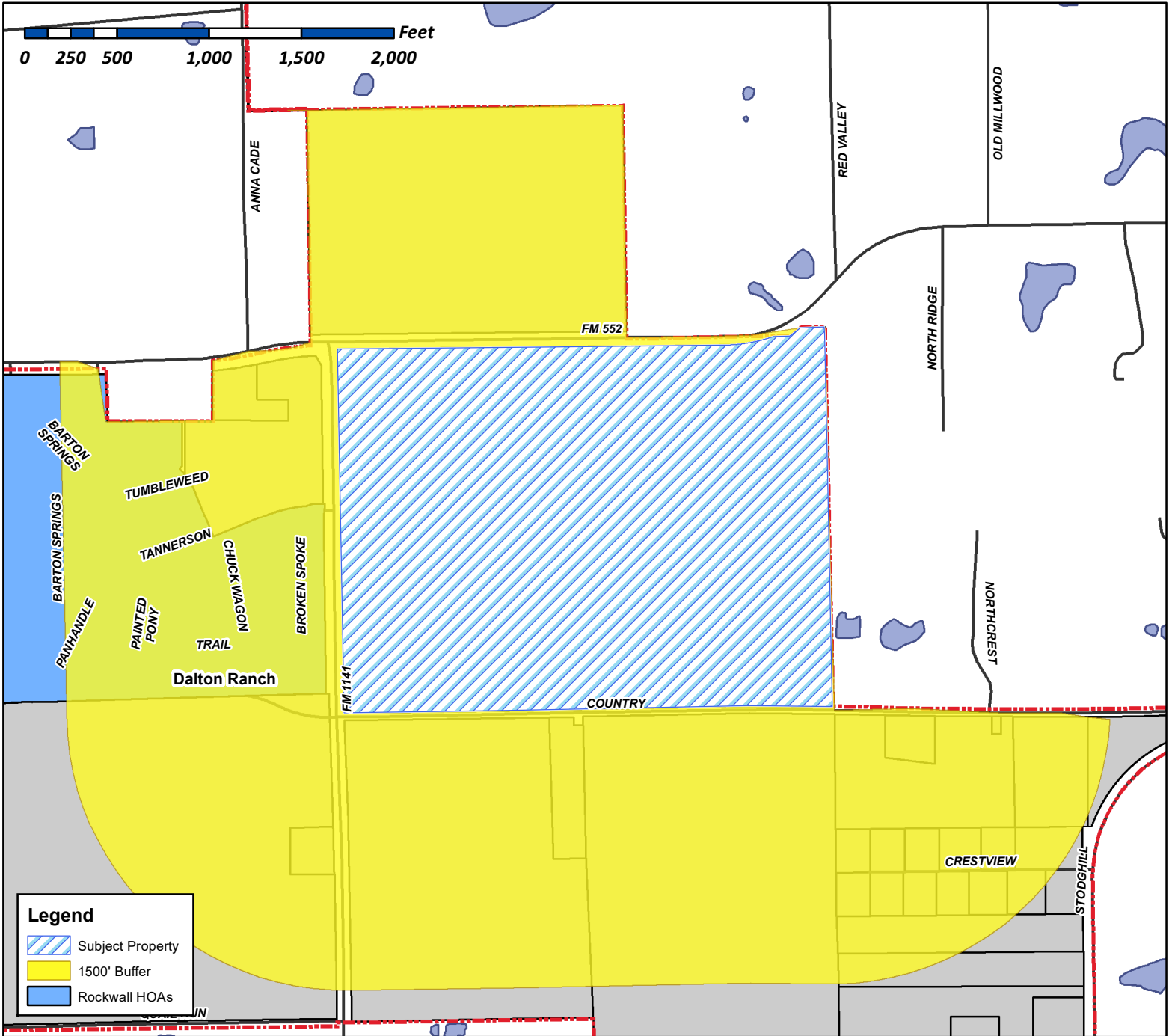
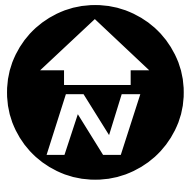







City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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(P): (972) 771-7745
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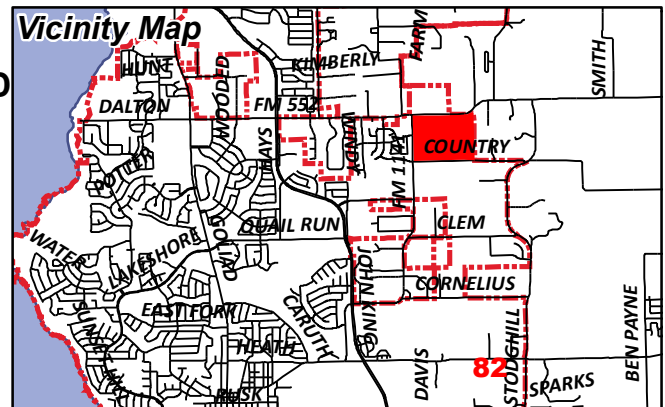
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Legend

-  Subject Property
-  1500' Buffer
-  Rockwall HOAs

Case Number: Z2020-045
Case Name: Zoning Change from NS & SF-16 to PD
Case Type: Zoning
Zoning: NS & SF-16
Case Address: SEC of FM 552 and FM 1141



Date Created: 12/19/2020
 For Questions on this Case Call (972) 771-7745

Miller, Ryan

From: Gamez, Angelica
Sent: Tuesday, December 22, 2020 12:13 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2020-056]
Attachments: Public Notice (12.21.2020).pdf; HOA Map (12.19.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *December 25, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 12, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 19, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-056 Zoning Change from SF-16 & NS to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a *Zoning Change* from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

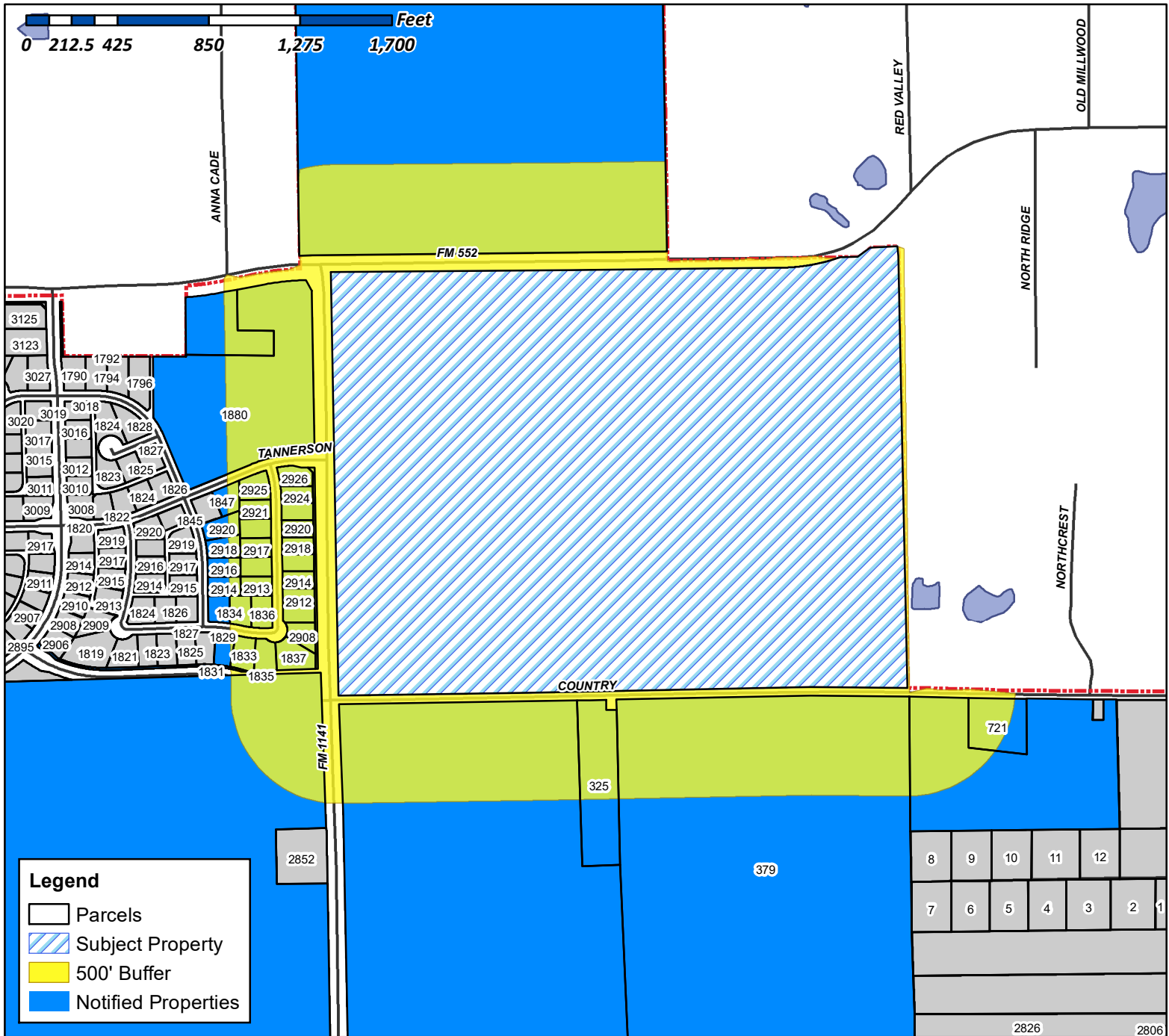
This email was scanned by Bitdefender



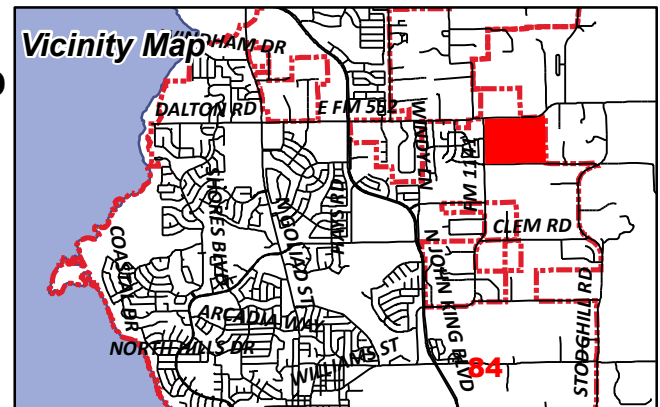
City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-056
Case Name: Zoning Change from NS & SF-16 to PD
Case Type: Zoning
Zoning: NS & SF-16
Case Address: SEC of FM 552 and FM 1141



Date Created: 12/18/2020

For Questions on this Case Call (972) 771-7745

 = RESPONSE RECIEVED

WEIR JAMES B & CRYSTAL
1831 TRAIL DR
ROCKWALL, TX 75087

OLIVER MICHAEL
1832 TRAIL DRIVE
ROCKWALL, TX 75087

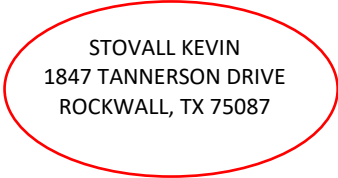
MILLER ANGELA KAY & JOHN RAY
1833 TRAIL DRIVE
ROCKWALL, TX 75087

FOSTER BRIAN AND DEIDRE
1834 TRAIL DRIVE
ROCKWALL, TX 75087

ALLEN JAMES JR & BARBARA A
1835 TRAIL DRIVE
ROCKWALL, TX 75087

SANTOSO HARDJO AND
SENDYTIAWATI KURNIAWAN
1836 TRAIL DR
ROCKWALL, TX 75087

REAMSBOTTOM DELAYNE
1837 TRAIL DRIVE
ROCKWALL, TX 75087

 STOVALL KEVIN
1847 TANNERSON DRIVE
ROCKWALL, TX 75087

ROCKWALL I S D
1880 TANNERSON
ROCKWALL, TX 75087

ERWIN KARL DANIEL EXECUTOR
KARL W ERWIN ESTATE
2030 CROSSWOOD LANE
IRVING, TX 75063

CITY OF ROCKWALL
205 W RUSK ST
ROCKWALL, TX 75087

UNISON INVESTMENT
23545 CRENSHAW BLVD STE 201
TORRANCE, CA 90505

EIDT WILLIAM H AND
MARGARET E SHEEHAN/JOHN EIDT
2728 MCKINNON ST APT 1902
DALLAS, TX 75201

KIM BUNNA
2908 BROKEN SPOKE LN
ROCKWALL, TX 75087

LIPSEY RANDALL L AND KAREN M
2910 BROKEN SPOKE LN
ROCKWALL, TX 75087

RODRIQUEZ MONICA CANO & ISRAEL A JR
2912 BROKEN SPOKE LANE
ROCKWALL, TX 75087

FRANCIS SHELBY & KRISTI
2913 BROKEN SPOKE LANE
ROCKWALL, TX 75087

KOZLOWSKI BRIAN STEPHEN & JULIE
2914 BROKEN SPOKE LANE
ROCKWALL, TX 75087

CONFIDENTIAL
2914 CHUCK WAGON DR
ROCKWALL, TX 75087

MARTIN JEFFREY MICHAEL & ELIZABETH DIANE
2915 BROKEN SPOKE LANE
ROCKWALL, TX 75087

CURRY JOANNA & SHAWN
2916 BROKEN SPOKE LN
ROCKWALL, TX 75087

LOGWOOD DANA CELESTE
2916 CHUCK WAGON DR
ROCKWALL, TX 75087

DE MASELLIS ADAM CLAUDE & STEPHANIE
DENISE
2917 BROKEN SPOKE LANE
ROCKWALL, TX 75087

2018 S M TAYLOR REVOCABLE TRUST
STEVEN EUGENE TAYLOR AND MICHELLE DIANE
TAYLOR- TRUSTEES
2918 BROKEN SPOKE LANE
ROCKWALL, TX 75087

DORROUGH JEFFREY
2918 CHUCK WAGON DR
ROCKWALL, TX 75087

GAY VINCENT NEIL AND KERRI L
2919 BROKEN SPOKE LN
ROCKWALL, TX 75087

SANTIAGO ABE D AND ROCIO D SIMENTAL
2920 BROKEN SPOKE LANE
ROCKWALL, TX 75087

BOYD JOEY D
2920 CHUCK WAGON DR
ROCKWALL, TX 75087

RANNIGAN MICHAEL R & RACHELLE LE ANN
2921 BROKEN SPOKE LANE
ROCKWALL, TX 75087

DENNISON BOBBY & RAMONA
2922 BROKEN SPOKE LN
ROCKWALL, TX 75087

JONAS CHAD & JOANA
2924 BROKEN SPOKE LANE
ROCKWALL, TX 75087

BUNCH LLOYD M & LINDA G
2925 BROKEN SPOKE LANE
ROCKWALL, TX 75087

QUINTERO JORGE & DELILAH
2926 BROKEN SPOKE LANE
ROCKWALL, TX 75087

ERWIN KARL DANIEL EXECUTOR
KARL W ERWIN ESTATE
379 N COUNTRYLN
ROCKWALL, TX 75087

DALTON RANCH OWNERS ASSOC
C/O VISION COMMUNITIES MANAGEMENT INC
5757 ALPHA RD STE 680
DALLAS, TX 75240

PEARCE CAROL ALLEY
721 N COUNTRY LN
ROCKWALL, TX 75087

ROCKWALL I S D
801 E WASHINGTON ST
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-056: Zoning Change from SF-16 & NS to PD

Hold a public hearing to discuss and consider a request by Ryan Joyce of Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a Zoning Change from a Single-Family 16 (SF-16) District and Neighborhood Services (NS) District to a Planned Development District for Single-Family 10 (SF-10) District land uses on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District and Neighborhood Services (NS) District, generally located at the southeast corner of the intersection of FM-1141 and FM-552, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 12, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-056: Zoning Change from SF-16 & NS to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-056: Zoning Change from SF-16 & NS to PD

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

I AM OPPOSED TO THE REQUEST. IT IS NOT IN AGREEMENT WITH THE CITY'S COMPREHENSIVE PLAN. ALSO, THE HIGH DENSITY NEIGHBORHOOD WOULD ADD ADDITIONAL OVERBURDEN TO FM 1141, OFTEN BACKED UP WITH HAYS ELEM. QUEUE LINE.

Name: KEVIN STOVALL

Address: 1847 TANNERSON DR. ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Miller, Ryan

From: [REDACTED]
Sent: Tuesday, December 29, 2020 1:09 PM
To: Miller, Ryan
Subject: Development at 552 and 1141

Sir,

It is with high respect that I address this situation. Our traffic at 205 and Lakeshore Dr. is well above capacity, and allowing this new dense development will further destroy our established communities by increasing accidents and massive traffic.

Please refuse this poorly planned atrocity, it will bring the worst out of what already is a tight situation.

Many lives are at stake here.

Respectfully,

Al Estrada
748 Monterey Drive
ROCKWALL
Tx
75087-6639

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Miller, Ryan

From: [REDACTED]
Sent: Tuesday, December 29, 2020 12:43 PM
To: Miller, Ryan
Subject: Proposed development 552/1141

Follow Up Flag: FollowUp
Flag Status: Completed

Due to Covid 19 we prefer not to come to the meeting tonight but, as a family living in Dalton Ranch we want it known that we are opposed to any residential development going in on the corner of 1141 and 552. There are far too many residences going in on this side of Rockwall and the roads, schools and shopping cannot possibly handle more people and more houses. Look at all the houses going in off John King alone. There is an entire development ready to start building more houses across from Stonecreek and Stonecreek is still actively building. Already it is difficult to eat out in North Rockwall, too few restaurants, and grocery shopping on the weekend is a nightmare. North Rockwall needs more shopping and more restaurant choices, get a Trader Joe's, concentrate on giving the people who live here more rather than giving us more people!

Heather Lee

Sent from my iPhone

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Miller, Ryan

From: [REDACTED]
Sent: Tuesday, December 29, 2020 1:31 PM
To: Miller, Ryan
Subject: Development on 552 and 1141

Good Afternoon,

The proposed development on 552 and 1141 does not fit the area. Rockwall is growing too fast. If we continue to take away the beautiful land and mature trees the appeal of Rockwall will get lost in a sea of houses. The appeal of North Rockwall is the large estates on large lots, not maximized housing profit- that is Frisco!!

I have first hand experience to how these new housing developments have effected the existing residents. My daughter attends Hays Elementary. In 2nd grade she had to take her lunch at 10:45 to accommodate all of the students to get through the lunch line. In 3rd grade the school got rid of their pre-k program and to accommodate a influx of students that all enrolled last minute the school put my daughter in a classroom in the pre-k hall Isolated away from the 3rd grade hall. Nearly 50% of the class were new students. My daughter was in the only self contained classroom Isolated in the pre-k hall because there was no room for the extra kids to switch classrooms like the other 3rd grade classes for different subjects during the day. She saw none of her friends and was pretty miserable. It felt so unfair considering I live 6 houses away from the school. This is our neighborhood school and there was no room for us.

There needs to be consideration for existing residents when these profit hungry builders come through our town. Their actions affect our quality of life.

Me and my family are opposed to this new development.

Janae McMillan

Sent via the Samsung Galaxy S9, an AT&T 5G Evolution capable smartphone
Get [Outlook for Android](#)

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Miller, Ryan

From: julie barrow <julie_barrow@sbcglobal.net>
Sent: Saturday, January 2, 2021 9:59 PM
To: Planning
Subject: Z2020-056

Dear planning and Zoning - my email is to document my opposition to the current proposed development. As a homeowner in Dalton Ranch the number of houses being proposed is not in keeping with the city's master plan of estate sized lots. The developer is attempting to count the over 30 acres of flood plain for density purposes and I'm sure you can agree that is shady. The home lot sizes will not be estate sized and the look and feel will not be what the master plan outlines. Lastly - the number of students that will result from this proposed number of homes will cause a significant strain to the already over populated schools of RiSD. We have seen trailers down the street erected to accommodate children and my now freshman attended Hays during the "trailer" years and it is not the best situation for student and / or teachers. We couldn't begin to social distance during the pandemic at the high school so I think it would be prudent to hold off on creating more new students than the plan calls for by the city approved master plan.

Please vote no the proposed increase deviation of the plan and keep the look and feel that the tax paying residents desire.

Sincerely, Julie Hall-Barrow
3018 Panhandle Dr.
501-950-4932

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Gamez, Angelica

From: Kate Wells <katenricky@aol.com>
Sent: Friday, January 8, 2021 9:57 AM
To: Planning
Subject: Z2020-056

No reply necessary- I just wanted to share my insight as a fairly new to Rockwall (17 months here now) resident. I have 2 areas of concern and opposition to this proposed project/plan. Coming from the Houston area and seeing what over-building (small lots, lots of houses and concrete) without the infrastructure to support the increased residents, lack of drainage and runoff issues does to not only that direct area but the areas around it I can say if this occurs we will be moving from the area. You can look up Longwood subdivision in Cypress, Tx and see a (once upscale) neighborhood with a "small creek" that has a golf course as a flood plain area. After living there for years nearby neighborhood/development overbuilding resulted in our small creek to start flooding all of the homes that were at the time in a 500 year flood plain. We won't stick around to have that happen here. Second we have 2 children at Hays elementary. Even if I wasn't concerned with the roads and traffic and overbuilding/flooding, a development this size across from the school is going to fill it up quickly. We knew that there would be one year of overcrowding before Hamm Elementry opened but it's been a drastic change in class sizes since.

All that to say, I'm not opposed to this being developed in a way that would be far less houses on larger lots resulting in less vehicles traveling the already overcrowded roads as well as the developer (not tax \$) making adjustments to drainage and flooding concerns.

Thanks in advance.

Kate Wells

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Miller, Ryan

From: [REDACTED]
Sent: Tuesday, December 29, 2020 11:26 PM
To: Miller, Ryan
Subject: Planned dev corner 1141 & 552

Regarding the above planned development I would like to voice my disapproval on this. Our city is becoming over populated with new developments. That results in more traffic with roads that can't accommodate the number of cars!

Also FM 552 and 1141 are too small for the amount of traffic this development will bring to the area.

I live on Saddlebrook off 1141. This area of Rockwall still has the country feel but with this development and others around that country feel is slipping away!

Martha Griffey

[Sent from AT&T Yahoo Mail on Android](#)

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Gamez, Angelica

From: Natalie Roberts <nataliejroberts71@icloud.com>
Sent: Monday, January 4, 2021 8:39 AM
To: Planning
Subject: Z2020-056

I am writing in regard to the proposed plan to build 262 houses on the north side of Rockwall by Hayes. I am strongly against this proposal. This area is out in the country part of Rockwall where we don't need City density. The homes should be built on larger half acre plus lots to maintain the country feel of the area just like Heath does. Land is very valuable in Rockwall and houses on lots this small would harm the overall value of the area. Thank you.

Natalie Roberts

Sent from my iPhone

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Miller, Ryan

From: jimsmithtexas@aol.com
Sent: Monday, January 11, 2021 4:06 PM
To: Planning; Miller, Ryan
Subject: Z2020-056

Importance: High

This e-mail is in regards to Z2020-056.

This developer is using 33.15 acres of floodplain area to calculate the 2.162 density.

To prevent developers from using unbuildable land to circumvent the density set forth in the Comprehensive Plan, I am wondering if P& Z could establish a precedent that no matter what the total average acreage is in the project, all lots must be 16,000s.f. or greater.

If this is not desirable, could the use of floodplain acreage or unbuildable acreage used to calculate lot density be limited to a percentage, possibly 10%?

Allowing the developer to use over 33 acres (over 27% of the total project acreage) of floodplain to calculate density is not in the best interest of Rockwallians.

Thanks,

Jim & Shirley Smith
609 Amherst Drive
Rockwall, TX 75087

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OUTSIDE OF CITY LIMITS (844 OLD MILLWOOD ROAD)

Miller, Ryan

From: Ajsmith890 <ajsmith890@gmail.com>
Sent: Saturday, January 2, 2021 10:18 PM
To: Planning
Subject: Subject: Z2020-056

To whom it may concern,

I live off of Old Millwood road ... and Camp Creek bisects my property. A decade ago, it would take 11 inches of rain for the creek to swell and breach.... flooding the land at Beth Talley's place and my place and on down .

Today, with half that, the creek breaches. The continual development of the North side of town has increased the run off to a point where those of us impacted by flood plains are being washed away. The rain absorbing pasture land is being stripped away and replaced with concrete and the waters pushed on to camp creek and those of us down stream.

Rockwall has a thousand or more lots available for building. This plat of land is mostly flood plain and would be wise to be developed as a green belt or park like Harry Meyers. A housing development would add to the existing flooding issue as well as impact traffic to 552 as well as the school.

Celia Hays is finally not popping at the seams from Overcrowding. Please veto this proposal and keep North Rockwall with the country and Ag feel that those of us that have been here a long time made it to be

AJ Smith
844 Old Millwood Rd

Sent from my iPhone

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Miller, Ryan

From: [REDACTED]
Sent: Tuesday, December 29, 2020 1:35 PM
To: Miller, Ryan
Subject: 1141 and 552 project

Please include this Email as part of the packet for the city review tonight of the project At the intersection of 5 52 and 11 41 area my name is Doug pritchard and I live at 3 6 to farm lane rockwall 750873 this is basically around the corner from where that project will be located. The city has done nothing to Decrease traffic congestion in this area particularly as relates to that intersection. As it is right now it is very dangerous interaction it will only get more dangerous with a significant vehicle traffic increase. A traffic signal is not the only solution.

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Miller, Ryan

From: Elizabeth A C Talley <canchaser16000@me.com>
Sent: Sunday, January 3, 2021 12:00 PM
To: Planning
Subject: Z2020-056

I am opposing the developer that is trying to add 262 houses to a small piece of land across from Hays Elementary School on 1141. My understanding is the issue that they are using 33 acres of flood plain land to calculate housing density . Building in and around the flood plain will result in even more flooding of Camp Creek and land in the Anna Cade/ Camp Creek/ Old Millwood area. The high home density development causes a lot of problems for those of us along the creek. Please contact me, Beth Talley, as I would like to have information for the next meeting for this developer.

Beth Talley
214-460-2818

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Miller, Ryan

From: jdaleale@yahoo.com
Sent: Tuesday, January 5, 2021 7:54 PM
To: Planning
Subject: Z2020-056

Sir/Madam

I am very concerned about the proposed development being considered on FM1141 across from Hays Elementary School.

In addition to the massive increase in traffic on the sub standard roads in the area, it will also increase the velocity of the drainage into Camp Creek, resulting in increased flooding on Old Millwood and Camp Creek Residences who already have problems during heavy rain. Many times, even recently the road has been closed due to flooding. Adding these residences along with the concrete run off will decrease the seepage into the soil and increase the runoff into the creek.

I urge you to vote down this proposal until a more detailed plan can be developed to accommodate the concerns of the existing home owners in the area.

Sincerely

John Dale

Camp Creek Resident.

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Miller, Ryan

From: Rick Wells <r_wells@sbcglobal.net>
Sent: Sunday, January 3, 2021 12:45 PM
To: Planning
Subject: Z2020-056

The density calculations of this development appears to include the flood zone area. That is misleading the density calculations. At 262 homes, 121 acres minus 33 for flood supports 2.9 houses per acres. Those smaller lots in the middle of the development are to small. To maintain proposed density of 2.16, total home count should be 190.

Rick Wells
200 camp creek rd
Rockwall

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Miller, Ryan

From: [REDACTED]
Sent: Tuesday, December 29, 2020 1:55 PM
To: Miller, Ryan
Subject: Item number 8 for public hearing

This question was asked, addressed and answered in November 2020. The same issues exist today as then.

One additional consideration; how will the City answer the future residents (voters and tax payers) of that new development when the creek floods? Will the City's answer be the HOA is responsible for flood damage repair to common areas?

Steve Taylor

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October 16, 2020

City of Rockwall
Attn: Ryan Miller, AICP
385 S Goliad St
Rockwall, TX 75087

Dear Mr. Miller,

Michael Joyce Properties, LLC is requesting that our project be taken to the November 10th, 2020 Planning and Zoning Meeting. This project is the development of 121.16 Acres in the J.M. Glass Survey, Tract 2 Abstract 88, City of Rockwall, Rockwall County, located at the Southeast corner of F.M. 552 and F.M. 1141.

The property is currently zoned NS and SF – 16. We are proposing a development of Single-Family Residential homes on 7,000 - 8,400 square foot lots. This community will provide for a greater variety of housing that the market demands and will still reflect the beautiful aesthetic of the surrounding communities like Stone Creek and Breezy Hill, and the City of Rockwall as a whole.

We look forward to working with the City once again to develop another gorgeous development.

Cordially Yours,

Ryan Joyce

Miller, Ryan

From: Adam Buczek <abuczek@skorburgcompany.com>
Sent: Tuesday, January 5, 2021 3:06 PM
To: Miller, Ryan
Cc: Kevin Harrell; JR Johnson
Subject: Nelson Lakes - revised PD mark ups and concept plan
Attachments: Draft Ordinance Mark-ups_(1.05.2021).pdf; Nelson Lake Concept Plan_1-5-2021.pdf

Ryan,

Please see attached Nelson Lakes edits / revisions.

Highlighted / summary of the concept plan changes to even more follow P&Z guidance:

- Removed 2 more lots (so we've reduced total lot count by 5 lots from the initial submittal)
- We further reduced the 60' lot type from 57% to 51.5% (5 fewer 60's from the work session version)
- We increased the 70's by 7 lots (from 23.2% to 26.1% of the total lots)
- We increased the 72's by 5 lots (from 19.8% to 22.2% of the total lots)

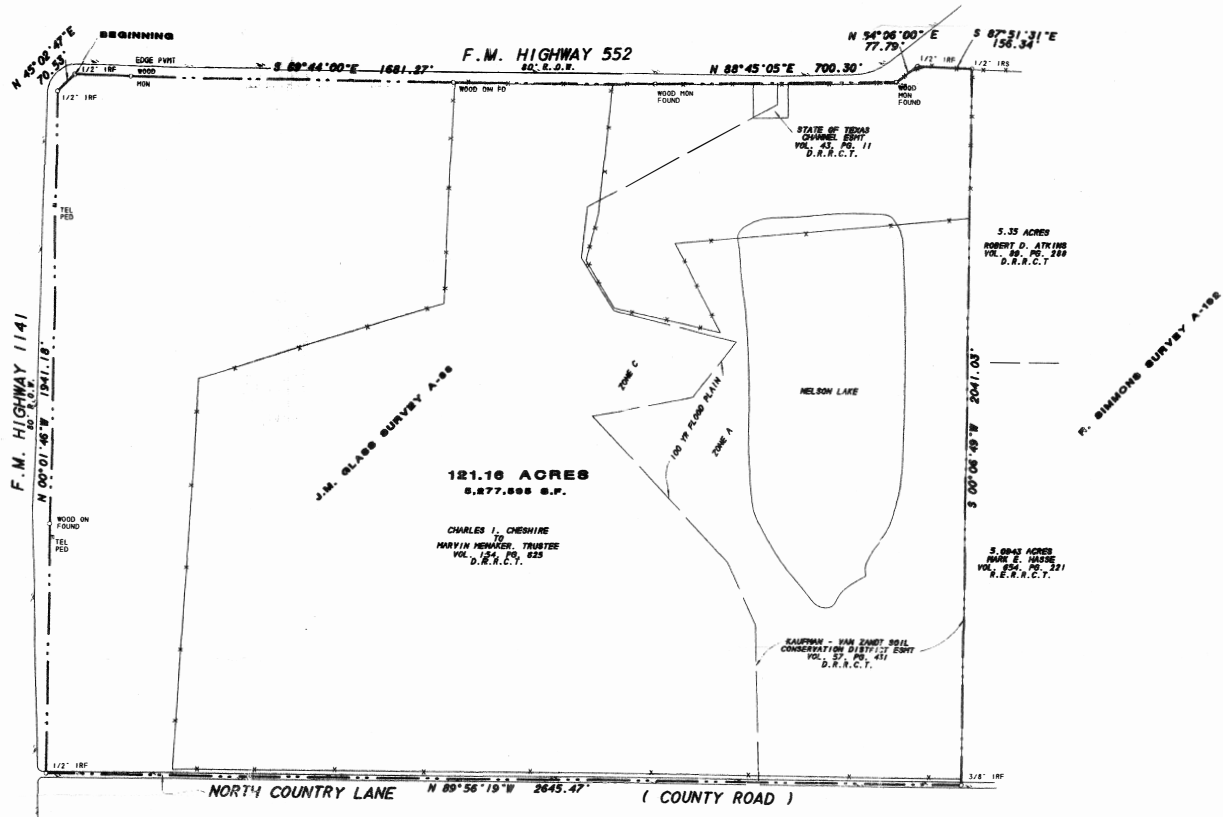
So now – this is now in all material respects a plan that has essentially half of all lots being 70' wide or greater. As an aside – there are several 60's on end / corner lots that are wider than 70' but are still yellow because they couldn't meet the 70' side setback requirement, but from a streetscape standpoint – they will look and feel like 70's because of their extra lot width.

Best Regards,

Adam J. Buczek
Development Partner
Skorburg Company
8214 Westchester Drive, Suite 900
Dallas, Texas 75225
Ph: (214) 888-8843
Cell: (817) 657-5548
Fax: (214) 888-8861

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DESCRIPTION

All that certain lot, tract or parcel of land situated in the J.M. GLASS SURVEY, ABSTRACT NO. 88, Rockwall County, Texas, and being all of that tract of land as described in a Warranty deed from Charles I. Cheshire to Marvin Menaker Trustee, dated April 23, 1980, and being recorded in Volume 154, Page 625 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the East cut back corner at the intersection of the East right-of-way line of F.M. Highway 552 (80' R.O.W.) with the South right-of-way line of F.M. Highway 1141 (80' R.O.W.);

THENCE along the South right-of-way line of said F.M. Highway 552 the following:

S. 89 deg. 44 min. 00 sec. E. (Controlling bearing) a distance of 1681.27 feet to a 1/2" iron rod found for corner;

N. 88 deg. 45 min. 03 sec. E. a distance of 700.30 feet to a tack found in wood monument for corner;

N. 54 deg. 08 min. 00 sec. E. a distance of 77.79 feet to a 1/2" iron rod found for corner;

THENCE S. 87 deg. 51 min. 31 sec. E. leaving the South line of said F.M. Highway 552, a distance of 196.34 feet to a 1/2" iron rod set for corner at the base of a fence corner post for corner at the Northeast corner of said Menaker tract;

THENCE S. 00 deg. 00 min. 49 sec. E. along the East line of said Menaker tract a distance of 2041.03 feet to a 3/8" iron rod found for corner in the center of North Country Lane (county road);

THENCE N. 89 deg. 06 min. 19 sec. W. along and near said center of North Country Lane a distance of 2945.47 feet to a 1/2" iron rod found for corner at the Southwest corner of said Menaker tract at the intersection of the center of said road with the East right-of-way line of said F.M. Highway 1141;

THENCE N. 00 deg. 01 min. 49 sec. W. with the East right-of-way line of said F.M. Highway 1141 a distance of 1941.18 feet to a 1/2" iron rod found for corner;

THENCE N. 45 deg. 02 min. 47 sec. E. along the East right-of-way line of said highway a distance of 7050 feet to the POINT OF BEGINNING and containing 121.16 acres or 5,277.595 square feet of land.

NOTES

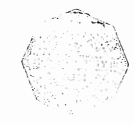
1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 480543 0035 B, dated SEPT 17, 1980, this property lies in Zones A & C. Part of this property does appear to be within a 100-year flood plain.

2) BEARING SOURCE IS RECORDED DEED IN VOL. 154, PG. 625, D.R.R.C.T.

SURVEYOR'S CERTIFICATE

I, Harold D. Feltz, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat was prepared for ROCKWALL COUNTY ABSTRACT & TITLE COMPANY as 123 acres, on FM 552 and FM 1141, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground on the 15th day of Feb., 2000.

Harold D. Feltz, III
 Harold D. Feltz III, R.P.L.S. No. 5034



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9. In the event the easement described herein is abandoned, the rights, privileges, and authority granted hereunder to the second party shall cease and determine.

IN WITNESS WHEREOF, the parties hereto have hereunto subscribed their names and affixed their seals as of the day and year first above written.

- ✓ James R. Murphy
- ✓ Thomas Nelson Murphy
- ✓ M. Burns D. Watkins
- ✓ Aslee Nelson Watkins
- ✓ James R. Dudley
- ✓ Iva Nell Dudley
- ✓ Henry C. Carr
- ✓ Mrs. Jennie Nelson Carr
- ✓ William G. Nelson
- ✓ Mary Dee Nelson

Mrs J M Nelson
Jessie Nelson Rodgers
 (Signature of first party)

Kaufman Van Zandt Soil Conservation District
Soil Conservation District

BY Frank Springer
 Chairman, Board of Supervisors

THE STATE OF _____
 COUNTY OF _____

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared _____ and _____, ~~his wife,~~ both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said _____, wife of the said _____, having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said _____ acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 27 day of April, A. D. 1956.

Notary Public in and for _____

SEAL
 My Commission Expires: 6-1-57 County, _____

THE STATE OF Texas
 COUNTY OF Rockwall

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Mrs. J.M. Nelson known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 27 day of April, A. D. 1956.

Frank Springer
 Notary Public in and for Rockwall
Rockwall County Texas

SEAL
 My Commission Expires: June 1, 1957

THE STATE OF Texas

COUNTY OF _____

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Alton A. Nelson and Mary Dee Nelson, his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Mary Dee Nelson wife of the said.

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Alton A. Nelson having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said

Mary Doe Nelson acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 1 day of March, A. D. 1957.

BETTY ARRANT, Betty Arrant
Notary Public in and for Ector County, Oklahoma

SEAL:
My commission expires: June 14, 1957

THE STATE OF Texas

COUNTY OF Bosque

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Henry A. Carr and Mrs. Lennie Nelson Carr, his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Lennie Nelson Carr, wife of the said

Henry A. Carr having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said Lennie Nelson Carr acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS, the 13 day of Feb., A. D. 1957.

J. D. Starcher
Notary Public in and for Bosque County, Tex.

SEAL:
My commission expires:

WIFE'S SEPARATE ACKNOWLEDGMENT

THE STATE OF TEXAS, }
COUNTY OF Rockwall }

BEFORE ME, the undersigned, a Notary Public,

in and for said County, Texas, on this day personally appeared Jennie Nelson Rodgers, wife of K. Barto Rodgers known to me to be the person whose name is subscribed to the foregoing instrument, and having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said Jennie Nelson Rodgers acknowledged such instrument to be her act and deed, and

she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, This 3 day of Jan., A. D. 1957

(L. S.) Frank Springer
Rockwall Co., Texas

THE STATE OF Texas

COUNTY OF _____

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BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Melbourn I. Watkins

and Aslee Nelson Watkins his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Aslee Nelson Watkins, wife of the said

Melbourn I Watkins having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said Aslee Nelson Watkins acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS, the 29 day of January,
M. Watkins
Aslee Nelson Watkins

A. D. 1957.

Gayle C. Wright
Notary Public in and for Dallas
County, _____

SEAL:

My commission expires: 6/1/57

THE STATE OF Texas

COUNTY OF _____

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared James R. Murphree and

Omaree Nelson Murphree, his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Omaree Nelson Murphree of the said

James R. Murphree wife having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said

Omaree Nelson Murphree acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 29 day of January,
James R. Murphree
Omaree Nelson Murphree

A. D. 1957.

Genevieve L. ...
Notary Public in and for Dallas
County, Texas

SEAL

My commission expires: 6-1-57

THE STATE OF Texas
COUNTY OF Rockwall

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BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Albert J. Wilson

known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 14 day of Jan., A. D. 1957.

Gladys James
Notary Public in and for Rockwall
Rockwall, County, Texas

SEAL
THE STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared James R. Dudley and Joan Nell Dudley, his wife, both known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they each executed the same for the purposes and consideration therein expressed, and the said Joan N. Dudley wife of the said

James R. Dudley having been examined by me privily and apart from her husband, and having the same fully explained to her, she, the said

Joan N. Dudley acknowledged such instrument to be her act and deed, and she declared that she had willingly signed the same for the purposes and consideration therein expressed, and that she did not wish to retract it.

SIGNED: James R. Dudley
SIGNED: Joan Nell Dudley

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 28th day of June, A. D. 1955.

SEAL
My commission expires: 6-1-1957

J. T. Lofland
Notary Public in and for
Rockwall County, Texas

THE STATE OF Texas
COUNTY OF Rockwall

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared K. Barto Rodgers known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this, the 3 day of Jan., A. D. 1957

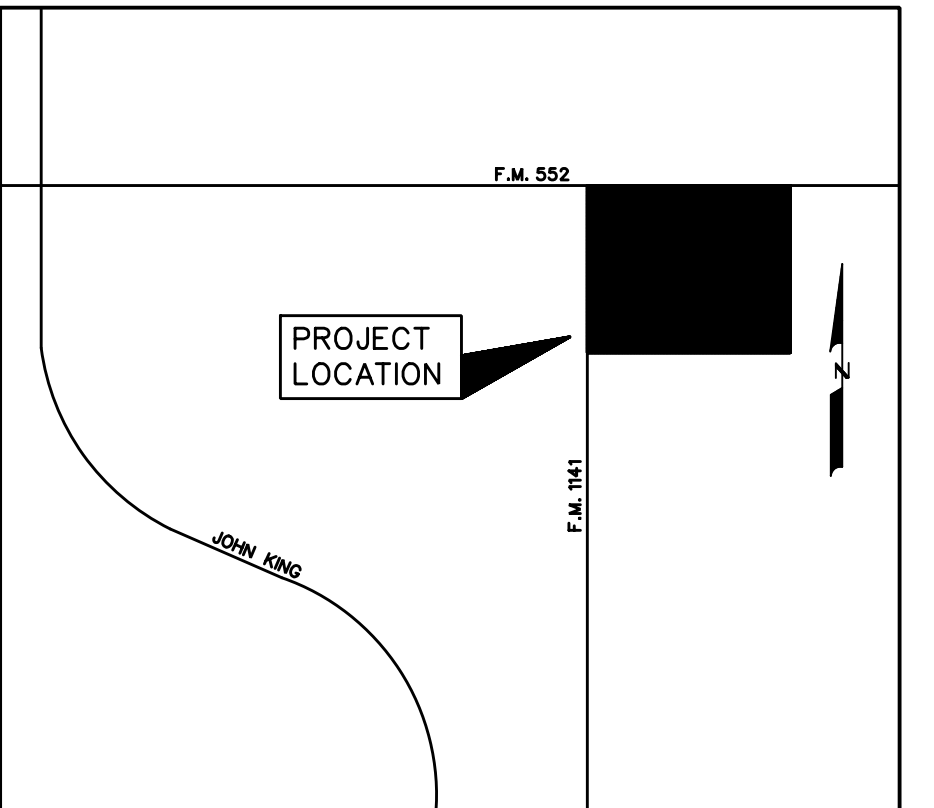
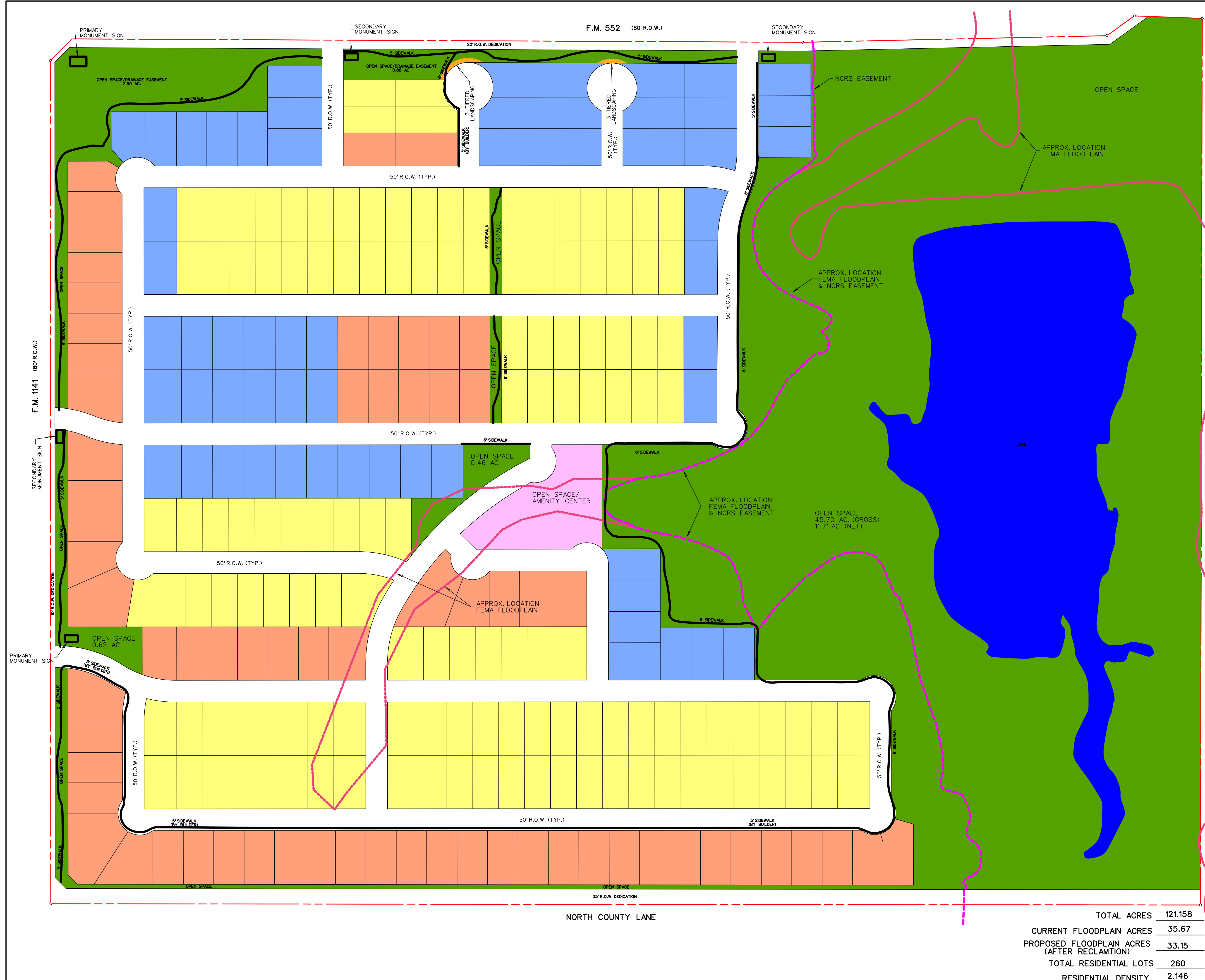
Frank Springer
Notary Public in and for
Rockwall County Texas

SEAL
My Commission Expires: 6-1-1957

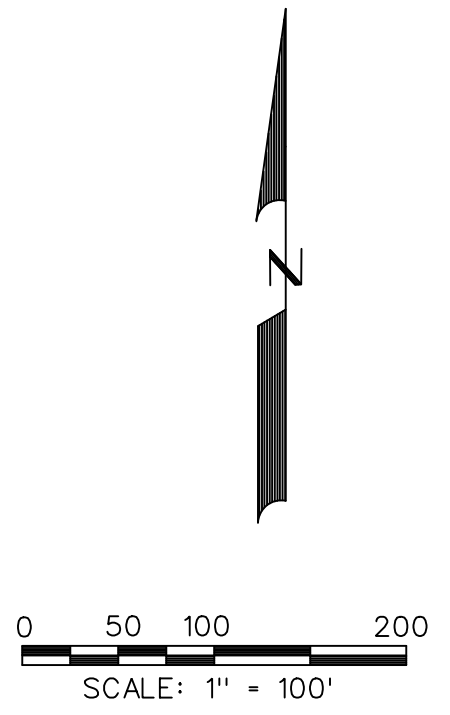
FILED FOR RECORD 16 DAY OF April A.D. 1958, AT 2-30 M.

RECORDED 17 DAY OF April A.D. 1958, AT 9-30 A.M.

Delwood Wilmore
CLERK COUNTY COURT, ROCKWALL COUNTY, TEXAS.



LOCATION MAP
N.T.S.



LEGEND

TYPICAL LOT SIZES

[Yellow Box]	- 60' X 120' - 134 LOTS
[Orange Box]	- 70' X 120' - 68 LOTS
[Blue Box]	- 72' X 120' - 58 LOTS
[Green Box]	- PUBLIC OPEN SPACE/ LANDSCAPE BUFFER - 50.44 AC.
[Pink Box]	- AMENITY CENTER - 1.145 AC.

NOTE:
THE MAXIMUM NUMBER OF RESIDENTIAL LOTS
SHALL NOT EXCEED 260 LOTS.

ALL OPEN SPACE LOTS TO BE MAINTAINED BY
THE PROPERTY OWNER/HOA.

OPEN SPACE INSIDE FLOODPLAIN	32.72 AC.
OPEN SPACE OUTSIDE FLOODPLAIN	17.62 AC.

CONCEPT PLAN
OF
NELSON LAKE ESTATES
SITUATED IN THE
J.M. GLASS SURVEY, ABSTRACT NO. 88

IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

OWNER
UNION INVESTMENT
23545 CRENSHAW BLVD., STE. 201
TORRANCE, CA 90505

JANUARY 2021 SCALE 1" = 100'

TOTAL ACRES	121.158
CURRENT FLOODPLAIN ACRES	35.67
PROPOSED FLOODPLAIN ACRES (AFTER RECLAMATION)	33.15
TOTAL RESIDENTIAL LOTS	260
RESIDENTIAL DENSITY	2.146

FISCAL IMPACT ANALYSIS TOOL

ASSUMPTIONS: (1) All values are based on the Appraised Value and not the Market Value; (2) All Agricultural (AG) District land is assumed to be residential under Current Zoning and zoned in accordance to the Future Land Use Map under Current Zoning at Build Out.

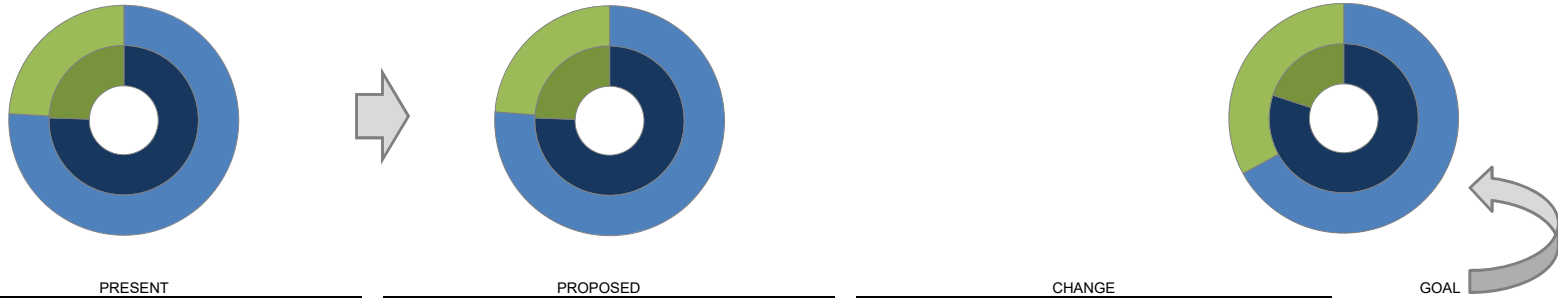
DISCLAIMER: The information provided below is not a reasonable basis for the approval or denial of any zoning case. This is a general tool that is meant to assist elected and appointed officials in the understanding the potential fiscal impacts of a zoning request, and to track conformance to the Comprehensive Plan's targeted land use ratios of 80% residential to 20% commercial land use, which is intended to yield a 67% residential value to 33% commercial value.

SUMMARY OF METHODOLOGY: The methods used in this study are based on a rough fiscal impact analysis, and involve reducing the City's land values down to a per square footage cost to estimate potential impact on existing property value. The cost of service model is constructed around the City's current fiscal year costs versus the percentage of land area that is currently residential and non-residential. A per capita multiplier and average cost method were used to estimate sales tax.

CASE NO.: Z2020-045

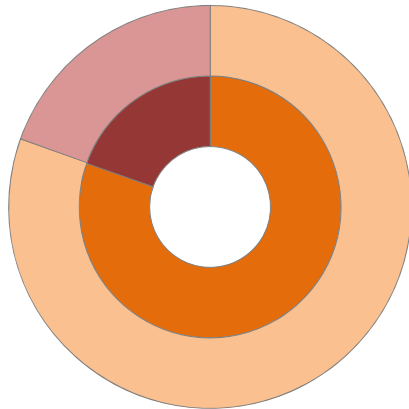
CASE NAME: Zoning Change (SF-16 & NS to PD) [Nelson Lake Estates]

ZONING MAP



	PRESENT				PROPOSED				CHANGE				GOAL		
	LAND USE		LAND VALUE		LAND USE		LAND VALUE		LAND USE		LAND VALUE		ACREAGE	VALUE	DIFFERENCE
	ACRES	%	EST. PROP. VALUE	%	ACRES	%	EST. PROP. VALUE	%	CH. ACRES	% CHANGE	CHANGE IN VALUE	% CHANGE			
RESIDENTIAL	10,934.11	75.49%	\$ 4,086,072,836.39	75.92%	10,949.47	75.59%	\$ 4,159,745,765.77	76.24%	15.36	0.11%	\$ 73,672,929.38	1.37%	80%	67%	-9.24%
NON-RESIDENTIAL	3,550.31	24.51%	\$ 1,296,229,067.61	24.08%	3,533.95	24.40%	\$ 1,296,111,589.15	23.76%	(16.36)	-0.11%	\$ (117,478.46)	0.00%	20%	33%	-9.24%
	14,484.42	100.00%	\$ 5,382,301,904.00	100.00%	14,483.42	99.99%	\$ 5,455,857,354.92	100.00%			\$ 73,555,450.92	1.37%	100%	100%	
OPEN SPACE	2,487.57		\$ 380,531,381.26		2,488.57		\$ 389,033,454.47								
TOTAL	16,971.99		\$ 5,762,833,285.26		16,971.99		\$ 5,844,890,809.39								

PRESENT		
	ACRES	%
RESIDENTIAL	19,697.30	80.41%
NON-RESIDENTIAL	4,799.77	19.59%
	24,497.07	100.00%
OPEN SPACE	6,114.49	
TOTAL	30,611.56	
PROPOSED		
	ACRES	%
RESIDENTIAL	19,729.78	80.54%
NON-RESIDENTIAL	4,783.41	19.53%
	24,513.19	100.07%
OPEN SPACE	6,098.36	
TOTAL	30,611.56	
CHANGE		
	ACRES	%
RESIDENTIAL	32.48	0.13%
NON-RESIDENTIAL	(16.36)	-0.07%



FUTURE LAND USE MAP

ESTIMATED COST/REVENUES

BENCHMARKS

	[A] Current Zoning	[B] Current Zoning Potential @ BO	[C] Proposed Zoning @ BO	[B] - [C] Difference of Proposed vs. Current
Residential Value	\$ 402,557.62	\$ 39,692,435.04	\$ 73,672,929.38	\$ 33,980,494.35
Non-Residential Value	\$ 117,478.46	\$ 9,527,246.00	\$ -	\$ (9,527,246.00)
Residential Acreage	56.06	56.06	71.42	\$ 15.36
Non-Residential Acreage	16.36	16.36	-	\$ (16.36)

ANNUAL REVENUES

	[A] Current Zoning	[B] Current Zoning Potential @ BO	[C] Proposed Zoning @ BO	[B] - [C] Difference of Proposed vs. Current
Residential Revenues	\$ 1,489.46	\$ 147,034.16	\$ 272,684.08	\$ 125,649.91
Non-Residential Revenues	\$ 434.67	\$ 56,519.64	\$ -	\$ (56,519.64)
Direct Sales Tax Increase	\$ -	\$ 229,556.40	\$ -	\$ (229,556.40)
Indirect Sales Tax Increase	\$ -	\$ 179,187.05	\$ 309,948.52	\$ 130,761.47
Total Revenues	\$ 1,924.13	\$ 612,297.26	\$ 582,632.60	\$ (29,664.66)

ANNUAL EXPENDITURES

	[A] Current Zoning	[B] Current Zoning Potential @ BO	[C] Proposed Zoning @ BO	[B] - [C] Difference of Proposed vs. Current
Cost of Community Service for Residential	\$ -	\$ (345,644.92)	\$ (715,566.98)	\$ (369,922.06)
Cost of Community Service for Non-Residential	\$ -	\$ (78,815.93)	\$ -	\$ 78,815.93
Total Estimated Expenditures	\$ -	\$ (424,460.84)	\$ (715,566.98)	\$ (291,106.14)

EST. ANN. COST/REVENUES

	[A] Current Zoning	[B] Current Zoning Potential @ BO	[C] Proposed Zoning @ BO	[B] - [C] Difference of Proposed vs. Current
EST. ANN. COST/REVENUES	\$ 1,924.13	\$ 187,836.42	\$ (132,934.38)	\$ (320,770.80)
OTHER BENCHMARKS				
Additional Citizens Added to Population		438	758	320
Estimated Non-Resident Consumers in City		147	-	(147)

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM A NEIGHBORHOOD SERVICES (NS) DISTRICT AND A SINGLE-FAMILY 16 (SF-16) DISTRICT TO PLANNED DEVELOPMENT DISTRICT XX (PD-XX) FOR SINGLE-FAMILY 10 (SF-10) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 121.16-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2 OF THE J. M. GASS SURVEY, ABSTRACT NO. 88, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryan Joyce of Ryan Michael Joyce Properties, LLC on behalf of Jen-Liang Wu of Unison Investment, LP for the approval of a zoning change from a Neighborhood Services (NS) District and a Single-Family 16 (SF-16) District to a Planned Development District for Single-Family 10 (SF-10) District land uses, on a 121.16-acre tract of land identified as Tract 2 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 04-38*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with

the *Density and Development Standards*, outlined in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That a *Master Parks and Open Space Plan* for the *Subject Property*, prepared in accordance with this ordinance and consistent with the *Planned Development Concept Plan* described in *Exhibit 'C'* of this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.

SECTION 5. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance [*including Subsections 5(b) through 5(g) below*], shall be the exclusive procedures applicable to the subdivision and platting of the *Subject Property*.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*). The City Council shall act on an application for a *Master Parks and Open Space Plan* in accordance with the time period specified in *Section 212.009* of the *Texas Local Government Code*.
 - (1) Master Parks and Open Space Plan
 - (2) Master Plat
 - (3) Preliminary Plat
 - (4) PD Site Plan
 - (5) Final Plat
- (c) *Master Parks and Open Space Plan.* A *Master Parks and Open Space Plan* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, prepared in accordance with this ordinance, shall be considered for approval by the City Council following recommendation of the Parks and Recreation Board.
- (d) *Master Plat.* A *Master Plat* for the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify the proposed timing of each phase of the proposed development. A *Master Plat* application may be processed by the City concurrently with a *Master Parks and Open Space Plan* application for the development.
- (e) *Preliminary Plat.* A *Preliminary Plat* for each phase of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted in accordance with the phasing plan established by the *Master Plat* and shall include a *Treescape Plan* for the phase being *Preliminary Platted*. A *Preliminary Plat* application may be processed by the City concurrently with a *Master Plat* and a *Master Parks and Open Space Plan* application for the development.
- (f) *PD Site Plan.* A *PD Site Plan* for each phase of the development of the *Subject Property*, as depicted in *Exhibit 'C'* of this ordinance, shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the City concurrently with a *Final Plat* application for the development.

(g) *Final Plat*. Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, shall be submitted for approval.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF FEBRUARY, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 19, 2021

2nd Reading: February 1, 2021

All that certain lot, tract or parcel of land situated in the *J.M. GLASS SURVEY, ABSTRACT NO. 88*, Rockwall County, Texas, and being all of that tract of land as described in a Warranty Deed from Charles I. Cheshire to Marvin Menaker, *Trustee*, dated April 23, 1980, and being recorded in *Volume 154, Page 625* of the *Deed Records* of Rockwell County, Texas, and being more particularly described as follows:

BEGINNING at a ½-inch iron rod found for corner at the east cut back corner at the intersection of the east right-of-way line of FM-1141 (80' ROW) with the South right-of-way line of FM-552 (80' ROW);

THENCE along the south right-of-way line of said FM-552 the following:

S. 89 DEG. 44 MIN. 00 SEC. E. (*Controlling Bearing*) a distance of 1681.27-feet to a ½-inch iron rod found for corner;

N. 88 DEG. 45 MIN. 05 SEC. E. a distance of 700.30-feet to a tack found in wood monument for corner;

N. 54 DEG. 06 MIN. 00 SEC. E. a distance of 77.79-feet to a ½-inch iron rod found for corner;

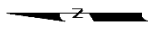
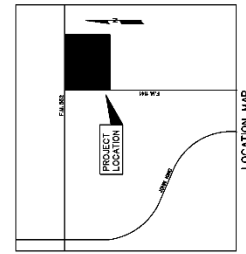
THENCE S. 87 DEG. 51 MIN. 31 SEC. E. leaving the South line of said FM-552, a distance of 156.34-feet to a ½-inch iron rod set for corner at the base of a fence corner post for corner at the northeast corner of said *Menaker Tract*;

THENCE S. 00 DEG. 06 MIN. 49 SEC. E. along the east line of said *Menaker Tract* a distance of 2,041.03-feet to a 3/8-inch iron rod found for corner in the center of North Country Lane;

THENCE N. 89 DEG. 56 MIN. 19 SEC. W. along and near said center of North Country Lane a distance of 2,645.47-feet to a ½-inch iron rod found for corner at the southwest corner of said *Menaker Tract* at the intersection of the center of said road with the east right-of-way line of said FM-1141;

THENCE N. 00 DEG. 01 MIN. 46 SEC. W. with the east right-of-way line of said FM-1141 a distance of 1,941.18-feet to a ½-inch iron rod found for corner;

THENCE N. 45 DEG. 02 MIN. 47 SEC. E. along the east right-of-way line of said highway a distance of 70.50-feet to the *POINT OF BEGINNING* and containing 121.16-acres or 5,277,595 SF of land.



0 50 100 200
SCALE: 1" = 100'

LEGEND

TYPICAL LOT SIZES

- 60' X 120' - 124 LOTS
- 70' X 120' - 88 LOTS
- 72' X 120' - 88 LOTS
- PUBLIC OPEN SPACE / LANDSCAPE BUFFER - 30.14 AC.
- AMENITY CENTER - 1145 AL.

NOTE: MINIMUM NUMBER OF RESIDENTIAL LOTS SHALL NOT BE LESS THAN 280 LOTS. ALL OPEN SPACE LOTS TO BE MAINTAINED BY THE PROPERTY OWNER/DA.

OPEN SPACE INSIDE FLOODPLAIN 38.72 AC.
OPEN SPACE OUTSIDE FLOODPLAIN 11.62 AC.

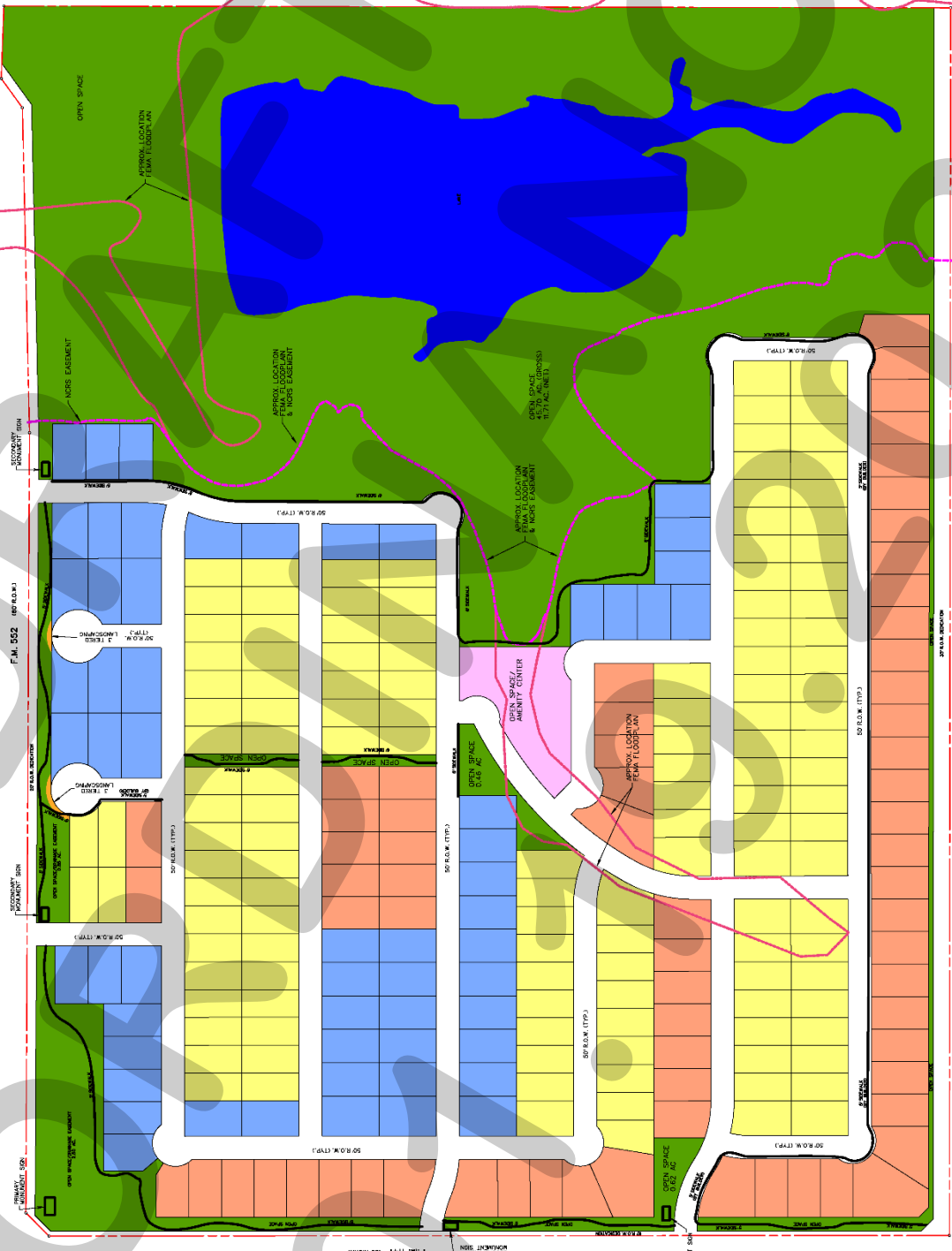
NELSON LAKE ESTATES
COUNTY PLAN OF
STRAWN, TEXAS

J.M. GLASS SURVEY, ABSTRACT NO. 88
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PREPARED BY
CORWIN ENGINEERING, INC.
1100 W. STATE ST., SUITE 200
ALLEN, TEXAS 75013
972.369.2000

UNISON INVESTMENT
23445 OAKSHAW, B.V. UNIT 207
DALLAS, TEXAS 75244
JANUARY 2021 SCALE: 1" = 100'

CASE NO. Z2020-056



TOTAL ACRES	121.158
CURRENT FLOODPLAIN ACRES	38.67
PROPOSED FLOODPLAIN ACRES (AFTER RECLAMATION)	33.15
TOTAL RESIDENTIAL LOTS	280
RESIDENTIAL DENSITY	2.145

NORTH COUNTY LINE

Density and Development Standards.

- (1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, only those uses permitted within the Single Family 10 (SF-10) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
- (2) Lot Composition and Layout. The lot layout and composition shall generally conform to the *Concept Plan* depicted in *Exhibit 'C'* and stated in *Table 1*, which is as follows:

Table 1: Lot Composition

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	60' x 120'	7,000 SF	134	51.54%
B	70' x 120'	8,400 SF	68	26.15%
C	72' x 120'	8,600 SF	58	22.31%
<i>Maximum Permitted Units:</i>			260	100.00%

- (3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated by the Single Family 10 (SF-10) District, as specified by Article 05, *District Development Standards*, of the Unified Development Code (UDC) are applicable to all development on the *Subject Property*. The maximum permissible density for the *Subject Property* shall not exceed 2.15 dwelling units per gross acre of land; however, in no case should the proposed development exceed 260 units. All lots shall conform to the standards depicted in *Table 2*, which are as follows:

Table 2: Lot Dimensional Requirements

Lot Type (see Concept Plan) ▶	A	B	C
<i>Minimum Lot Width</i> ⁽¹⁾	60'	70'	72'
<i>Minimum Lot Depth</i>	120'	120'	120'
<i>Minimum Lot Area</i>	7,000 SF	8,400 SF	8,600 SF
<i>Minimum Front Yard Setback</i> ^{(2), (5) & (6)}	20'	20'	20'
<i>Minimum Side Yard Setback</i>	5'	6'	6'
<i>Minimum Side Yard Setback (Adjacent to a Street)</i> ^{(2) & (5)}	20'	20'	20'
<i>Minimum Length of Driveway Pavement</i>	20'	20'	20'
<i>Maximum Height</i> ⁽³⁾	36'	36'	36'
<i>Minimum Rear Yard Setback</i> ⁽⁴⁾	10'	10'	10'
<i>Minimum Area/Dwelling Unit (SF) [Air-Conditioned Space]</i>	2,200 SF	2,200 SF	2,200 SF
<i>Maximum Lot Coverage</i>	65%	65%	65%

General Notes:

- ¹: Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the *Front Yard Building Setback*. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to ten (10) percent, but shall meet the minimum lot size for each lot type referenced in *Table 1*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- ⁴: The location of the *Rear Yard Building Setback* as measured from the rear property line.
- ⁵: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15-feet in width that has glass on at least 50% of each of

the encroaching faces.

- 6: Flat front entry garage configurations are permitted on up to 35% (*i.e. a maximum of 91 lots*) of the total number of lots provided that: [1] no more than 45% (*i.e. a maximum of 60 lots*) of the lots for Lot Type 'A' have a flat front entry garage, [2] no more than 25% (*i.e. a maximum of 31 lots*) of the combined total of the Lot Type 'B' and Lot Type 'C' may have a flat front entry garage, and [3] the front yard building setback for all lots with a flat front entry garage is increased to a minimum of 25-feet.

(4) Building Standards. All development shall adhere to the following building standards:

- (a) Masonry Requirement. The minimum masonry requirement for the total exterior façade area of all buildings shall be 90% (*excluding dormers and walls over roof areas*); however, no individual façade shall be less than 85% masonry. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard horizontal lap-siding (*e.g. HardiBoard or Hardy Plank*) and stucco (*i.e. three [3] part stucco or a comparable -- to be determined by staff*) may be used for up to 50% of the masonry requirement; however, stucco (*i.e. three [3] part stucco or a comparable -- to be determined by staff*) shall be permitted through a Specific Use Permit (SUP) only. Excluding dormers and walls over roof areas, siding products (*e.g. HardiBoard or Hardy Plank*) shall not be visible on homes abutting any major thoroughfare (*i.e. FM-552 and FM-1141 as shown on Exhibit 'C' of this ordinance*).

- (b) Roof Pitch. A minimum of an 8:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.

- (c) Garage Orientation and Garage Doors. This development shall adhere to the following garage design and orientation requirements:

- (1) Type 'A' Lots. Garages shall be oriented in a *traditional swing* (or *j-swing*) -- where the two (2) car garage is situated facing the side property line and the driveway swings into the garage in a 'J' configuration -- or in a flat front entry configuration (*i.e. even with the front façade of the primary structure*). On *traditional swing* (or *j-swing*) garage configurations, a second single garage door facing the street is permitted if it is located behind the width of the double garage door. Garages configured in a flat front entry configuration shall be allowed on a maximum of 45% of the lots (*i.e. a maximum of 60 lots*) provided that the front yard building setback is increased to 25-feet. All garage configurations not conforming to this section shall meet the requirements of Article 09, *Parking and Loading*, of the Unified Development Code (UDC).

- (2) Type 'B' and 'C' Lots. Garages shall be oriented in a *traditional swing* (or *j-swing*) -- where the two (2) car garage is situated facing the side property line and the driveway swings into the garage in a 'J' configuration -- or in a flat front entry configuration (*i.e. even with the front façade of the primary structure*). On *traditional swing* (or *j-swing*) garage configurations, a second single garage door facing the street is permitted if it is located behind the width of the double garage door. Garages configured in a flat front entry configuration shall be allowed on a maximum of 25% of the lots (*i.e. a maximum of 31 lots of the combined total of the Lot Type 'B' and Lot Type 'C' Lots*) provided that the front yard building setback is increased to 25-feet. All garage configurations not

conforming to this section shall meet the requirements of Article 09, *Parking and Loading*, of the Unified Development Code (UDC).

All garage doors shall be required to have decorative wood doors or wood overlays on insulated metal doors. The design between the garage door and home shall use the same or complementary colors and materials. All garages shall include carriage style hardware. An example of carriage style hardware is depicted in *Figure 1*.

Figure 1. Examples of Enhanced Garage Door



Carriage Hardware

- (5) *Anti-Monotony Restrictions*. The development shall adhere to the *Anti-Monotony Matrix* depicted in *Table 3* below (for spacing requirements see *Figures 3 & 4* below).

Table 3: Anti-Monotony Matrix

<u>Lot Type</u>	<u>Minimum Lot Size</u>	<u>Elevation Features</u>
A	60' x 120'	(1), (2), (3), (4)
B	70' x 120'	(1), (2), (3), (4)
C	72' x 120'	(1), (2), (3), (4)

- (a) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
- (b) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, FM-552, FM-1141, or North Country Lane shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate:

- (1) Number of Stories
 - (2) Permitted Encroachment Type and Layout
 - (3) Roof Type and Layout
 - (4) Articulation of the Front Façade
- (c) Permitted encroachment (*i.e. porches and sunroom*) elevations shall not repeat or be the same along any block face without at least five (5) intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and six (6) intervening homes beginning with the home on the opposite side of the street.
- (d) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Figure 3: Properties line up on the opposite side of the street. Where **RED** is the subject property.



Figure 4: Properties do not line up on opposite side of the street. Where **RED** is the subject property.



- (6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

- (a) Front Yard Fences. Front yard fences shall be prohibited.

- (b) Wood Fences. All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be *board-on-board* panel fence that is constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (*i.e. facing streets, alleys, open space, parks, and/or neighboring properties*). All posts and/or framing shall be placed on the private side (*i.e. facing towards the home*) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
- (c) Wrought Iron/Tubular Steel. Lots located along the perimeter of roadways (*i.e. FM-552, FM-1141 and North Country Lane*), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of six (6) feet in height.
- (d) Corner Lots. Corner lots fences (*i.e. adjacent to the street*) shall provide masonry columns at 45-feet off center spacing that begins at the rear of the property line. A maximum of six (6) foot solid *board-on-board panel* fence constructed utilizing cedar fencing shall be allowed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of five (5) feet. The property owner shall be required to maintain both sides of the fence.
- (e) Solid Fences (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.

(7) Landscape and Hardscape Standards.

- (a) Landscape. Landscaping shall be reviewed and approved with the *PD Site Plan*. All *Canopy/Shade Trees* planted within this development shall be a minimum of four (4) caliper inches in size and all *Accent/Ornamental/Under-Story Trees* shall be a minimum of four (4) feet in total height.
- (b) Landscape Buffers. All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA).
 - (1) Landscape Buffer and Sidewalks (FM-552). A minimum of a 30-foot landscape buffer shall be provided along FM-552 (*outside of and beyond any required right-of-way dedication*), that shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer. In addition, additional three (3) tiered landscaping (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*) shall be required adjacent to the cul-de-sacs along FM-552 as depicted in *Exhibit 'C'* of this ordinance.

- (2) Landscape Buffer and Sidewalks (FM-1141). A minimum of a 30-foot landscape buffer shall be provided along FM-1141 (*outside of and beyond any required right-of-way dedication*), and shall incorporate ground cover, a *built-up* berm and shrubbery along the entire length of the frontage. Berms and/or shrubbery shall have a minimum height of 30-inches and a maximum height of 48-inches. In addition, three (3) canopy trees and four (4) accent trees shall be planted per 100-feet of linear frontage. A meandering five (5) foot sidewalk shall be constructed within the 30-foot landscape buffer.
- (3) Landscape Buffers (North Country Lane). A minimum of a 10-foot landscape buffer shall be provided along North Country Lane (*outside of and beyond any required right-of-way dedication*). This landscape buffer shall incorporate a solid living screen utilizing evergreen trees -- *either Eastern Red Cedar or Leland Cypress unless approved otherwise approved by the Director of Planning and Zoning* --, a minimum of four (4) caliper inches in size, that will be planted on 15-foot centers along the entire frontage of North Country Lane. An alternative screening plan proposing the use of existing trees, for the area directly adjacent to North Country Lane, may be submitted by the developer with the PD Site Plan. This alternative plan can be approved by the Planning and Zoning Commission upon a finding that the proposed plan will provide adequate screening that is equal to or exceeds the standards stated in this section.
- (c) Street Trees. The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of five (5) feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the *PD Site Plan*.
- (d) Irrigation Requirements. Irrigation shall be installed for all required landscaping located within common areas, landscape buffers and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).
- (e) Hardscape. Hardscape plans indicating the location of all sidewalks and trails shall be reviewed and approved with the *PD Site Plan*.
- (8) Street. All streets (*excluding drives, fire lanes and private parking areas*) shall be built according to City street standards.
- (9) Lighting. Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
- (10) Sidewalks. All sidewalks adjacent to a street shall be a maximum of two (2) feet inside the right-of-way line and be five (5) feet in overall width.

- (11) Buried Utilities. New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the *Subject Property* to facilitate development phasing and looping may be allowed above ground, but shall not be considered *existing lines* at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a ten (10) foot public utility easement behind the sidewalk, between the home and the property line.
- (12) Open Space. The development shall consist of a minimum of 20% open space (or a minimum of 24.232-acres -- as calculated by the formula stipulated in the *Comprehensive Plan*), and generally conform to the *Concept Plan* contained in *Exhibit 'C'* of this ordinance. All open space areas (including landscape buffers) shall be maintained by the Homeowner's Association (HOA).
- (13) Trails. A concrete trail system shall be constructed in generally the same areas and of the same sizes as what is depicted in *Exhibit 'C'* of this ordinance.
- (14) Neighborhood Signage and Enhancements. Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the *PD Site Plan*. The developer shall provide enhanced landscaping areas at all entry points to the *Subject Property*. The final design of these areas shall be provided on the *PD Site Plan*.
- (15) Homeowner's Association (HOA). A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the Municipal Code of Ordinances of the City of Rockwall. The HOA shall also maintain all private neighborhood parks, trails, open space and common areas (including drainage facilities), floodplain areas, irrigation, landscaping, screening fences and neighborhood signage associated with this development.
- (16) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.

CITY OF ROCKWALL CITY COUNCIL MEMO

AGENDA DATE: 3/21/2005

APPLICANT: Kimley-Horn & Associates

AGENDA ITEM: Z2005-007; Nelson Lake - (Ag) to (SF-16) & (NS)

Hold a public hearing and consider a request from Jason Faigle of Kimley-Horn & Associates to rezone 104.8-acres from (Ag) Agricultural district to (SF-16) Single Family Residential district, and 16.4-acres from (Ag) Agricultural district to (NS) Neighborhood Service district. The subject property is located at the southeast corner of FM 1141 and FM 552, and currently described as Tract 2, Abstract 88, J.M. Gass Survey.

BACKGROUND INFORMATION:

The applicant has submitted a zoning request to zone property, containing approximately 121.16 acres, from (Ag) Agricultural district to (SF-16) Single Family Residential and (NS) Neighborhood Service. The proposed SF-16 zoning will contain approximately 104.8 acres and the NS zoning will contain approximately 16.4 acres. The property is located at the southeast corner of the intersection of F.M. 1141 and F.M. 552. The vacant property located across FM 552 directly to the north of this site was recently annexed into the City and is zoned (Ag) Agricultural. Property to the south is also zoned (Ag) Agricultural and is currently used for agricultural purposes along with a few residential homes. The property to west (i.e. Dalton Ranch) has been zoned (PD-58) Planned Development and preliminary platted for single family residential development with a density of less than two units per acre, and also incorporates an elementary school site.

The zoning exhibit illustrates a plan for 111 total lots with 106 residential lots, 4 open space areas and 1 retail lot (Neighborhood Service area). As indicated on the exhibit, the SF-16 portion of the zoning proposal yields a density level of 1.01 units per acre. The Land Use Plan indicates this area to be Single Family Low Density Residential. Low density is defined within the Comprehensive Plan as less than two units per acre of land.

The Comprehensive Plan also states that all residential lots which are 16,000 square feet in area or less should be served by an alley. However, the applicant's request is for minimum 16,000-sf lots (concept plan indicates an average lot size of 19,509-sf), and the plan indicates no alleys. The development pattern for SF-16 and greater has been the elimination of the alley requirement.

The Comprehensive Plan states that in determining appropriate zoning, existing surrounding conditions such as lot size, house styles and existing development patterns should be considered. The Dalton Ranch development to the west of this property has

been preliminary platted and zoned for a minimum 10,000 square foot lot area with lots ranging from over 10,000 square foot up to 30,000 square foot in area. The applicant's proposal meets the recommendations of the Comprehensive Plan in terms of density, and is comparable land within the general area.

This proposal also indicates approximately 56 acres of open space which includes Nelson Lake as an amenity to the proposed development. The applicant has indicated the open space and lake area will be private and maintained by a Homeowner's Association. In conjunction with the open space, the applicant has proposed 16 acres of Neighborhood Service zoning which is the most restrictive retail-type district within the Unified Development Code. The Land Use Plan does indicate this intersection as commercial/retail land use. We have included a list of uses that are allowed within the Neighborhood Service District for review. The overall amount of open space being proposed, primarily required because of the lake and flood plain, and the proposed NS zoning will regulate the residential density to less than 2 units per acre. In conjunction with the zoning request, the applicant has also submitted a preliminary plat of the property. Issues dealing with landscape buffers along F.M. 552 and F.M. 1141 and entry features will be taken up with approval of the preliminary plat.

Notices were mailed to eight (8) property owners located in the City within 200-ft of the subject tract, and at this time, none had been returned.

RECOMMENDATIONS:

Staff Recommends approval of the request.

On 3/8/05 the Planning and Zoning Commission recommended approval the zoning change to (SF-16) and (NS) by a vote of 5 to 0 (Jackson and Smith absent).

Tract 134-12, Abstract 207, E. Teal Survey (2.564-acres), located along the south side of Henry M. Chandler Drive and immediately east of the Chandler's Landing Marina.

The motion failed due to a lack of a second.

Burgamy made a motion to deny the request by Austin Lewis of Lewis Real Estate Investments to amend (PD-8) Planned Development district, specifically on a vacant, 6.889-acre tract comprised of Spyglass Hill #4 Addition (4.324-acres) and Tract 134-12, Abstract 207, E. Teal Survey (2.564-acres), located along the south side of Henry M. Chandler Drive and immediately east of the Chandler's Landing Marina.

Langdon seconded the motion. The motion was voted on and passed by a vote of 3 to 1 (Lucas against; Carroll abstaining; Jackson and Smith absent).

Carroll returned to the meeting.

Z2005-007

Hold a public hearing and consider a request from Jason Faigle of Kimley-Horn & Associates to rezone 104.8-acres from (Ag) Agricultural district to (SF-16) Single Family Residential district, and 16.4-acres from (Ag) Agricultural district to (NS) Neighborhood Services district. The subject property is located at the southeast corner of FM 1141 and FM 552, and currently described as Tract 2, Abstract 88, J.M. Gass Survey.

Hampton outlined the request stating the applicant has submitted a zoning request to zone property, containing approximately 121.16 acres, from (Ag) Agricultural district to (SF-16) Single Family Residential and (NS) Neighborhood Service. The proposed SF-16 zoning will contain approximately 104.8 acres and the NS zoning will contain approximately 16.4 acres. The property is located at the southeast corner of the intersection of F.M. 1141 and F.M. 552. The vacant property located across FM 552 directly to the north of this site was recently annexed into the City and is zoned (Ag) Agricultural. Property to the south is also zoned (Ag) Agricultural and is currently used for agricultural purposes along with a few residential homes. The property to west (i.e. Dalton Ranch) has been zoned (PD-58) Planned Development and preliminary platted for single family residential development with a density of less than two units per acre, and also incorporates an elementary school site.

The zoning exhibit illustrates a plan for 111 total lots with 106 residential lots, 4 open space areas and 1 retail lot (Neighborhood Service area). As indicated on the exhibit, the SF-16 portion of the zoning proposal yields a density level of 1.01 units per acre. The Land Use Plan indicates this area to be Single Family Low Density Residential. Low density is defined within the Comprehensive Plan as less than 2 units per acre of land.

The Comprehensive Plan also states that all residential lots which are 16,000 square feet in area or less should be served by an alley. However, the applicant's request is for minimum 16,000-sf lots (concept plan indicates an average lot size of 19,509-sf), and the plan indicates no alleys. The development pattern for SF-16 and greater has been the elimination of the alley requirement.

The Comprehensive Plan states that in determining appropriate zoning, existing surrounding conditions such as lot size, house styles and existing development patterns should be considered. The Dalton Ranch development to the west of this property has been preliminary platted and zoned for a minimum 10,000 square foot lot area with lots ranging from over 10,000 square foot up to 30,000 square foot in area. The applicant's proposal meets the recommendations of the Comprehensive Plan in terms of density, and is comparable land within the general area.

This proposal also indicates approximately 56 acres of open space which includes Nelson Lake as an amenity to the proposed development. The applicant has indicated the open space and lake area will be private and maintained by a Homeowner's Association. In conjunction with the open space, the applicant has proposed 16 acres of Neighborhood Service zoning which is the most restrictive retail-type district within the Unified Development Code. The Land Use Plan does indicate this intersection as commercial/retail land use. We have included a list of uses that are allowed within the Neighborhood Service District for review. The overall amount of open space being proposed, primarily required because of the lake and flood plain, and the proposed NS zoning will regulate the residential density to less than 2 units per acre. In conjunction with the zoning request, the applicant has also submitted a preliminary plat of the property. Issues dealing with landscape buffers along F.M. 552 and F.M. 1141 and entry features will be taken up with approval of the preliminary plat.

Notices were mailed to eight (8) property owners located in the City within 200-ft of the subject tract, and at this time, none had been returned.

Herbst opened the public hearing.

Rob Whittle, applicant addressed requesting approval of the request and to answer questions.

Herbst closed the public hearing.

Carroll made a motion to approve the request from Jason Faigle of Kimley-Horn & Associates to rezone 104.8-acres from (Ag) Agricultural district to (SF-16) Single Family Residential district, and 16.4-acres from (Ag) Agricultural district to (NS) Neighborhood Services district. The subject property is located at the southeast corner of FM 1141 and FM 552, and currently described as Tract 2, Abstract 88, J.M. Gass Survey.

Langdon seconded the motion. The motion was voted on and passed by a vote of 5 to 0.

P2005-011

Discuss and consider a request from Jason Faigle of Kimley-Horn & Associates for approval of a preliminary plat of Nelson Lake Addition, a 121.2-acre tract comprised of 106 single-family residential lots (104.8-acres) and one lot designated for "NS" Neighborhood Services uses (16.4-acres). The subject property is located at the southeast corner of FM 1141 and FM 552, and currently described as Tract 2, Abstract 88, J.M. Gass Survey.

Hampton outlined the request stating the preliminary plat for Nelson Lake lays out 106 single-family residential lots, four (4) open space and/or drainage easements, one (1) lot designated for a sewer lift station and one (1) lot designated for future non-residential development. The preliminary plat application is running concurrently with a zoning application to rezone the 121.2-acre subject tract from (Ag) Agricultural to (SF-16) Single-Family Residential (104.8-acres) and (NS) Neighborhood Services (16.4-acres).

Right-of-way and Access

The site is bordered by FM 552 to the north, FM 1141 to the west, N. Country Lane to the south and the City limits to the east. Access for the residential portion of the development is proposed via "Street A" from FM 1141 and via "Street G" from FM 552. A Traffic Impact Analysis will be required as part of the engineering review. *Each of these proposed street connections will require TXDOT approval, and there is some concern from Staff that TXDOT will require "Street A" to align with the proposed street (Limestone Way) in Dalton Ranch.*

A 10-ft ROW dedication is provided along FM 1141 and a 20-ft ROW dedication along FM 552 for the future widening of those arterials. Left-turn lanes and/or deceleration lanes will be required as per Engineering standards and TXDOT requirements. Access to the proposed 16.4-acre (NS) site will be provided subject to TXDOT and City engineering standards, and will be reviewed at the time of final platting and/or site plan approval for that property. No access is proposed to N. Country Lane; however, the developer will be responsible for the dedication of 32.5-ft of Right-of-way and improvement of a minimum 24-ft street section of this road as it abuts the subject tract.

Utilities and Engineering Issues

The subject tract currently is situated within Mt. Zion's water district, and it is believed there are not adequate fire flows or capacity to support the proposed development. However, the developer has agreed to participate in a facilities agreement with the City to acquire the right to serve this area, which will be finalized during engineering review/final platting. Development of this tract will require extensions of water and sewer lines to and along the subject tract, as well as installation of a lift station in the northeastern quadrant (i.e. Lot 57, Block C). *The Preliminary Utility Layout outlines the proposal; however, the City Engineer has*

356 Bill Bradshaw (Applicant)
357 Bradshaw stated that this would be their 5th consecutive year at this
358 location.
359

360 There being no one further to address the Council, Mayor Jones closed the public
361 hearing.

362
363 Councilmember Raulston made a motion to approve the request with Staff
364 recommendations and Councilmember Cotti seconded the motion. The ordinance was
365 read as follows:

366
367 AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED
368 DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY
369 AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT TO ALLOW A TEMPORARY
370 PORTABLE BEVERAGE SERVICE FACILITY ON A TRACT OF LAND KNOWN AS
371 LOTS 4 AND 5, CANUP ADDITION, LOCATED AT 907 S. GOLIAD; PROVIDING FOR
372 SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE
373 SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING
374 FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE;
375 PROVIDING FOR AN EFFECTIVE DATE.

376
377 The motion passed by a vote of 6 ayes and 1 absent [King].
378

379 f. Z2005-007 – Hold a public hearing and consider approval of an
380 Ordinance a request from Jason Faigle of Kimley-Horn & Associates to
381 rezone 104.8-acres from (Ag) Agricultural district to (SF-16) Single Family
382 Residential district, and 16.4-acres from (Ag) Agricultural district to (NS)
383 Neighborhood Services district. The subject property is located at the
384 southeast corner of FM 1141 and FM 552, and currently described as
385 Tract 2, Abstract 88, J.M. Gass Survey and take any action necessary.
386 [1st Reading]
387

388 Michael Hampton discussed the background of the request and stated Rob Whittle was
389 the landowner. Mayor Jones opened the public hearing and the following persons came
390 forward to address the Council:

391
392 Jason Faigle (Applicant) and Rob Whittle
393 Whittle stated that this will be a custom home community and believes it
394 will be a catalyst for development of the north area.
395

396 There being no one further to address the Council, Mayor Jones closed the public
397 hearing.

398
399 Councilmember Raulston made a motion to approve the request with Staff
400 recommendations and Councilmember Cecil seconded the motion. The ordinance was
401 read as follows:

402
403 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE
404 UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL AS PREVIOUSLY AMENDED SO AS TO
405 APPROVE A CHANGE IN ZONING FROM (AG), AGRICULTURAL DISTRICT TO (SF-16) SINGLE FAMILY
406 RESIDENTIAL DISTRICT AND (NS), NEIGHBORHOOD SERVICE DISTRICT, ON A TRACT OF LAND
407 CONTAINING 121.2 ACRES AND KNOWN AS TRACT 2, ABSTRACT 88, J.M. GASS SURVEY, AND MORE
408 SPECIFICALLY DESCRIBED HEREIN AS EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS;
409 PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS
410 (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A
411 REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

412
413 The motion passed by a vote of 6 ayes and 1 absent [King].

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**MINUTES
ROCKWALL CITY COUNCIL**

April 4, 2005
6:00 p.m. Regular Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087

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1. **CALL TO ORDER**

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Mayor Jones called the meeting to order at 5:00 p.m. Present were Mayor Ken Jones and Councilmembers Bob Cotti, Stephen Straughan, Tim McCallum, Bill Cecil and John King. Councilmember Terry Raulston was absent. Also present were City Manager Julie Couch and City Attorney Pete Eckert. Mayor Jones immediately adjourned the meeting into Executive Session.

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2. **INVOCATION AND PLEDGE OF ALLEGIANCE – COUNCILMEMBER STEPHEN STRAUGHAN**

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3. **PROCLAMATIONS**

a. **Miss Teen Rockwall – Sabra Davis**

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4. **OPEN FORUM**

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Mayor Jones advised the audience that the floor was open to anyone who wished to address the Council on any subject not on tonight's agenda. The following persons came forward to address the Council:

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Linda Jaresh – Spoke about the Ms. Teen Texas competition.

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Sam Buffington – Requested that the Southside Coalition Association be put on the next agenda to discuss the land at Davy Crockett & Ross.

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78

There being no one further to address the Council, Mayor Jones closed the open forum.

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5. **CONSENT AGENDA**

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a. Consider approval of the Minutes from the March 7, 2005 City Council meeting and take any action necessary.

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b. Consider approval of the Minutes from the March 21, 2005 City Council meeting and take any action necessary.

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c. Consider approval of the Annual Contract for Street Maintenance Materials and take any action necessary.

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d. Consider approval of an **Ordinance** for a request by Maureen Green (Z2005-009) for a change in zoning from (SF-7) Single-family Residential district to (PD-50) Planned Development No. 50 district on a 0.23-acre tract being part of Block 20, Amick Addition, situated at 603 North Goliad and take any action necessary. **[2nd Reading]**

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- e. Consider approval of an **Ordinance** for a request from Bill and Glenda Bradshaw (Z2005-011) for a Specific Use Permit to allow for a portable beverage service facility within the (C) Commercial zoning district, on a 0.25-acre tract located at 907 S. Goliad and take any action necessary. [2nd Reading]
 - f. Consider approval of an **Ordinance** a request from Jason Faigle of Kimley-Horn & Associates (Z2005-007) to rezone 104.8-acres from (Ag) Agricultural district to (SF-16) Single Family Residential district, and 16.4-acres from (Ag) Agricultural district to (NS) Neighborhood Services district. The subject property is located at the southeast corner of FM 1141 and FM 552, and currently described as Tract 2, Abstract 88, J.M. Gass Survey and take any action necessary. [2nd Reading]
 - g. Consider approval of a Facilities Agreement with Jerry Kissick for Ranch Trail Drive and take any action necessary.
 - h. Consider approval of a Facilities Agreement with Lake Pointe Church for use of Yellowjacket Park and take any action necessary.
 - i. Consider approval of a Resolution designating the officers for the General Election to be held on May 7, 2005 and take any action necessary.

115 Councilmember John King requested that Consent Agenda Items 5(a) and (b) be pulled.
116 Councilmember Cotti made a motion to approve the remaining Consent Agenda Items
117 and Councilmember Straughan seconded the motion. The ordinances were read as
118 follows:

119
120 ORDINANCE NO. 05-08

121
122 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
123 AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL,
124 TEXAS AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM "SF-7"
125 SINGLE FAMILY RESIDENTIAL TO "PD-50"; PLANNED DEVELOPMENT DISTRICT NO.
126 50 ON A 0.460-ACRE TRACT KNOWN AS PART OF A, B, & E, BLOCK 21, AMICK
127 ADDITION; 603 N. GOLIAD STREET AND MORE SPECIFICALLY DESCRIBED IN
128 EXHIBIT "A" ATTACHED HERETO; CORRECTING THE OFFICIAL ZONING MAP;
129 PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO
130 THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING A SEVERABILITY
131 CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN
132 EFFECTIVE DATE.

133
134 ORDINANCE NO. 05-15

135
136 AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED
137 DEVELOPMENT CODE OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY
138 AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT TO ALLOW A TEMPORARY
139 PORTABLE BEVERAGE SERVICE FACILITY ON A TRACT OF LAND KNOWN AS
140 LOTS 4 AND 5, CANUP ADDITION, LOCATED AT 907 S. GOLIAD; PROVIDING FOR
141 SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE
142 SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING
143 FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE;
144 PROVIDING FOR AN EFFECTIVE DATE.



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: January 19, 2021

SUBJECT: Z2020-057; ZONING CHANGE (PD-41 & SF-10 TO PD-41)

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Neighborhood Notification Email
Property Owner Notification Map
Property Owner Notification List
Public Notice
Property Owner Notifications
Applicant's Letter
Zoning Exhibits
Current Planned Development District 41 (PD-41) Ordinances
Concept Plan for PD-41
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Doug Galloway of Viaduct Development on behalf of GotRocks Properties, LLC for the approval of an **ordinance** for a *Zoning Change* superseding *Specific Use Permit No. 57 (S-57; Ordinance No. 08-39)* and changing the zoning from a Single-Family 10 (SF-10) District to Planned Development District 41 (PD-41) for General Retail (GR) District land uses on a 2.96-acre parcel of land identified as Lot 1, Block A North Lake Shore Daycare Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses and Single-Family 10 (SF-10) District, addressed as 1940 N. Lakeshore Road, and take any action necessary (**1st Reading**).

Action Needed

The City Council is being asked to hold a public hearing and [1] approve, [2] approve with condition, or [3] deny the Zoning Change.



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council

DATE: January 19, 2021

APPLICANT: Doug Galloway; Viaduct Development

CASE NUMBER: Z2020-057; Zoning Change (PD-41 & SF-10 to PD-41)

SUMMARY

Hold a public hearing to discuss and consider a request by Doug Galloway of Viaduct Development on behalf of GotRocks Properties, LLC for the approval of a Zoning Change superseding Specific Use Permit No. 57 (S-57; Ordinance No. 08-39) and changing the zoning from a Single-Family 10 (SF-10) District to Planned Development District 41 (PD-41) for limited General Retail (GR) District land uses on a 2.96-acre parcel of land identified as Lot 1, Block A North Lake Shore Daycare Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses and Single-Family 10 (SF-10) District, addressed as 1940 N. Lakeshore Road, and take any action necessary.

BACKGROUND

The subject property was annex by the City Council on June 20, 1959 by *Ordinance No. 59-02*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the historic zoning maps from January 3, 1972, the subject property was zoned Single-Family 2 (SF-2) District and Multi-Family 1 (MF-1) District. This zoning map also showed the right-of-way for East Fork Road (*called out as N. Alamo Road at the time*) bisecting the subject property along the two (2) zoning designations (*see Figure 1 below*). On December 3, 1973, the City Council adopted *Ordinance No. 73-52*, which changed the southern portion of the subject property -- *the portion zoned Multi-Family 1 (MF-1) District* -- to Planned Development District 11 (PD-11) for single-family residential land uses. This portion of the subject property remained designated as Planned Development District 11 (PD-11) until April 4, 1994 when the City Council adopted *Ordinance No. 94-15* changing the zoning designation to Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses (*see Figure 2 below*). The remainder of the subject property appears to have changed zoning from a Single-Family 2 (SF-2) District to a Single-Family 10 (SF-10) District prior to May 16, 1983 according to the historic zoning maps. The right-of-way for East Fork Road (*N. Alamo Road*) was depicted as bisecting the subject property up until the December 3, 2007 zoning map (*see Figure 3 below*) where it is shown in its present-day alignment.

FIGURE 1: JANUARY 3, 1972 ZONING MAP



RED CIRCLE = SUBJECT PROPERTY

FIGURE 2: APRIL 5, 2005 ZONING MAP

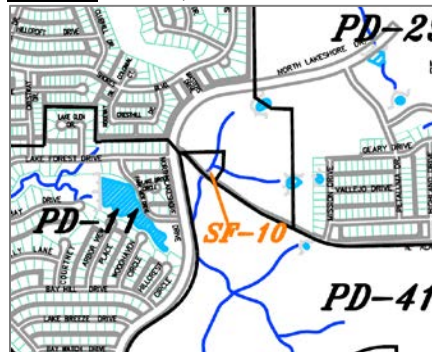
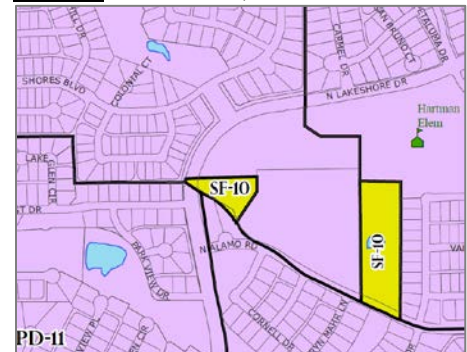


FIGURE 3: DECEMBER 3, 2007 ZONING MAP



On July 21, 2008, the City Council approved *Ordinance No. 08-39* [*Specific Use Permit No. S-57; Case No. Z2008-015*], which allowed a *Daycare Facility (with seven [7] or more children)* in a Single-Family 10 (SF-10) District. Despite this approval, the project remained inactive until 2016 when the present-day applicant submitted a site plan for a daycare facility [*Case No. SP2016-019*]. This site plan was approved on October 11, 2016. A subsequent site plan amendment [*Case No. SP2019-014*]

was approved on May 9, 2017, and a final plat of the property [Case No. P2017-043] was approved on September 5, 2017. Following these approvals, a building permit [BLD2019-0378] was approved and a Certificate of Occupancy (CO) [CO2019-0118] was issued for the daycare facility on January 30, 2020.

PURPOSE

On December 18, 2020, the applicant – *Doug Galloway of Viaduct Development* -- submitted an application requesting to change the zoning of the 2.96-acre subject property from Single-Family 10 (SF-10) District and Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses to Planned Development District 41 (PD-41) for limited General Retail (GR) District land uses. In the applicant's letter, the applicant indicated the intent of the zoning change was to provide two (2) additional pad sites to allow the construction of two (2) office buildings.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1940 N. Lakeshore Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 5.006-acre tract of land (*i.e. Tract 11-2 of the N. Butler Survey, Abstract No. 21*), which is zoned Planned Development District 3 (PD-3) for Commercial (C) District land uses. Beyond this is N. Lakeshore Drive, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 1 of the Crestview Subdivision, which consists of 38 single-family residential lots on 10.34-acres. This property is zoned Planned Development District 3 (PD-3) for single-family detached land uses.

South: Directly south of the subject property is East Fork Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 3 of the Preserve Subdivision, which consists of 114 single-family residential lots on 60.21-acres. This property is zoned Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses.

East: Directly east of the subject property is a 9.623-acre tract of land (*i.e. Tract 11-3 of the A, Hanna Survey, Abstract No. 98*), which is zoned Planned Development District 3 (PD-3) for Commercial (C) District land uses. This property is currently being operated as an *Urban Farm (i.e. Blasé Family Farm)* under *Specific Use Permit No. S-088 [Ordinance No. 11-44]*. Beyond this is a single-family home on a 5.37-acre parcel of land (*i.e. Lot 3, Block 1, Blasé Addition*), which is zoned Single-Family 10 (SF-10) District.

West: Directly west of the subject property is N. Lakeshore Drive, which is identified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Phase 3 of the Hillcrest Shores Subdivision, which consists of 110 single-family residential lots on 37.40-acres. This property is zoned Planned Development District 11 (PD-11) for Single-Family 10 (SF-10) District land uses.

CHARACTERISTICS OF THE REQUEST

As stated above, the subject property is currently zoned both Single-Family 10 (SF-10) District and Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses. The division of these two (2) zoning designations on the subject property is the general location of the old alignment of East Fork Road (*i.e. N. Alamo Road on older maps*). When the City changed the alignment of the roadway, the zoning designations were not changed, and eventually a ~10,000 SF daycare facility was constructed on the subject property under a Specific Use Permit (SUP) [*Ordinance No. 08-39; S-57*]. This land use -- *a Daycare with Seven (7) or More Children* -- was permitted under both zoning designations by Specific Use Permit (SUP) and did not require the property owner to rezone the property at that time.

When the applicant approached staff about constructing two (2) office buildings on the subject property, staff explained to the applicant that the property needed to be rezoned and that there were two (2) options for the request: [1] remove the portion of the property within Planned Development District 41 (PD-41) and seek a simple General Retail (GR) District zoning classification (*this would represent the least restrictive path*), or [2] incorporate the 1.46-acres of land zoned Single-Family 10 (SF-10) District

into Planned Development District 41 (PD-41) and reclassifying the 2.96-acre subject property to allow General Retail (GR) District land uses (*this would represent the most restrictive option*). With either option Planned Development District 41 (PD-41) would have to be amended and all property owners within the Planned Development District would need to be notified. Ultimately, the applicant chose the more restrictive option (*i.e. to increase the boundaries of the Planned Development District*), and limit the permitted land uses allowed on the subject property to [1] an *Office Building*, [2] a *Medical Office Building*, and [3] a *Daycare with Seven (7) or More Children*.

In addition, the subject property would be subject to the density and dimensional standards permitted for the General Retail (GR) District, and which are as follows:

<i>Density and Dimensional Requirements</i>	<i>General Retail (GR) District</i>
<i>Minimum Lot Area</i>	6,000 SF
<i>Minimum Lot Width at Front Building Setback</i>	60-Feet
<i>Minimum Lot Depth</i>	83-Feet ⁽¹⁾
<i>Minimum Front Yard Setback</i>	15-Feet
<i>Minimum Side Yard Setback without a Fire Rated Wall</i>	10-Feet
<i>Minimum Side Yard Setback with a Fire Rated Wall</i>	0-Feet
<i>Minimum Rear Yard Setback without a Fire Rated Wall</i>	10-Feet
<i>Minimum Rear Yard Setback with a Fire Rated Wall</i>	0-Feet
<i>Maximum Building Size</i>	25,000 SF
<i>Minimum Distance Between Buildings without a Fire Rated Wall</i>	15-Feet
<i>Minimum Distance Between Buildings with a Fire Rated Wall</i>	0-Feet
<i>Maximum Lot Coverage</i>	40%
<i>Maximum Height</i>	36-Feet

Notes: ⁽¹⁾ see the *Conformance to the City's Codes* section below.

The concept plan submitted by the applicant shows that two (2) additional office buildings will be added to the subject property west of the daycare facility and adjacent to N. Lakeshore Drive. These buildings are depicted as a 3,444 SF building and a 2,545 SF building that will share a common wall and property line. The parking areas, landscaping, and detention area will remain unchanged.

INFRASTRUCTURE

All public infrastructure required for the applicant's request as depicted on the submitted zoning exhibit was constructed with the adjacent daycare facility.

CONFORMANCE TO THE CITY'S CODES

The proposed Planned Development District conforms to the majority of the City's code requirements; however, it should be noted that the development standards contained within the Planned Development District ordinance deviate from the requirements of the Unified Development Code (UDC) in the following ways:

- (1) Minimum Lot Depth. According to the Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum lot depth for properties in a General Retail (GR) District is 100-feet. Currently, the lot -- *identified as Lot 1 on the zoning exhibit* -- is 83.17-feet in depth.

Staff Response. Staff has included a provision in the proposed draft ordinance that would allow a lot configuration with a minimum depth of 83-feet; however, the approval of this request is discretionary to the City Council pending a recommendation from the Planning and Zoning Commission.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the North Lakeshore District and is designated for Commercial/Retail land uses on the Future Land Use Plan. Based on the applicant's request, the Commercial/Retail designation is an appropriate designation for the subject property and

no changes to the Future Land Use Plan would be required (*i.e. the applicant's request conforms to the Future Land Use Plan designation*). In addition, according to the *District Strategies* for this district, "(t)he commercial in this district is intended to support the existing residential subdivisions and should be compatible in scale with the adjacent residential structures." In this case, the applicant's proposal of allowing General Retail (GR) District land uses is an appropriate transition from the property zoned Commercial (C) District directly north of the subject property to the residential areas south of the subject property; however, this request is a discretionary call for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On December 19, 2020, staff mailed 756 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Shores on Lake Ray Hubbard, Lakeview Summit, Caruth Lakes, and the Hillcrest at the Shores Homeowner's Associations (HOA's), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received the following:

- (1) 16 property owner notifications, one (1) online *Zoning & Specific Use Permit Input Form*, and one (1) email from property owners within the notification area (*i.e. within the 500-foot buffer*) opposed to the applicant's request; however, staff should point out that several of these notices site an opposition a land use not being proposed with this case (*i.e. retail and multi-family*).
- (2) One (1) email from a property owner within the notification area (*i.e. within the 500-foot buffer*) stating no objection to the applicant's request.
- (3) Two (2) emails and one (1) online *Zoning & Specific Use Permit Input Form* from property owners outside of the notification area (*i.e. outside of the 500-foot buffer*) opposed to the applicant's request.

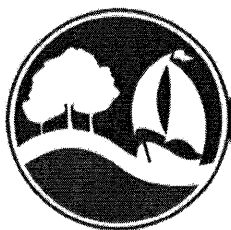
CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request to rezone the subject property from Single-Family 10 (SF-10) District and Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses to Planned Development District 41 (PD-41) for limited General Retail (GR) District, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the conditions contained in the Planned Development District ordinance;
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On January 12, 2021 the Planning and Zoning Commission approved the applicant's request to rezone the subject property from Single-Family 10 (SF-10) District and Planned Development District 41 (PD-41) for Single-Family 10 (SF-10) District land uses to Planned Development District 41 (PD-41) for limited General Retail (GR) District land uses by a vote of 6-1, with Commissioner Moeller dissenting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 1940 N Lakeshore Dr

Subdivision North Lakeshore Daycare

Lot

1

Block

A

General Location NW corner of East Fork and N Lakeshore

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning GR / PD-41 & R-12

Current Use Daycare & land

Proposed Zoning GR / PD-41

Proposed Use Daycare & office

Acreage 1.13

Lots [Current] 1

Lots [Proposed] 3

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner

Applicant

Viaduct Development

Contact Person

Contact Person

Doug Galloway

Address

Address

2560 Technology Ste 100 Plano Tx 75074

City, State & Zip

City, State & Zip

Phone

Phone

512-698-9494

E-Mail

E-Mail

doug@viaductdev.com

NOTARY VERIFICATION [REQUIRED]

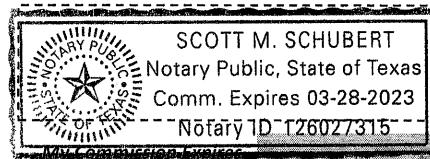
Before me, the undersigned authority, on this day personally appeared William Galloway [Owner] the undersigned, who stated the information on this application to be true and certified the following:

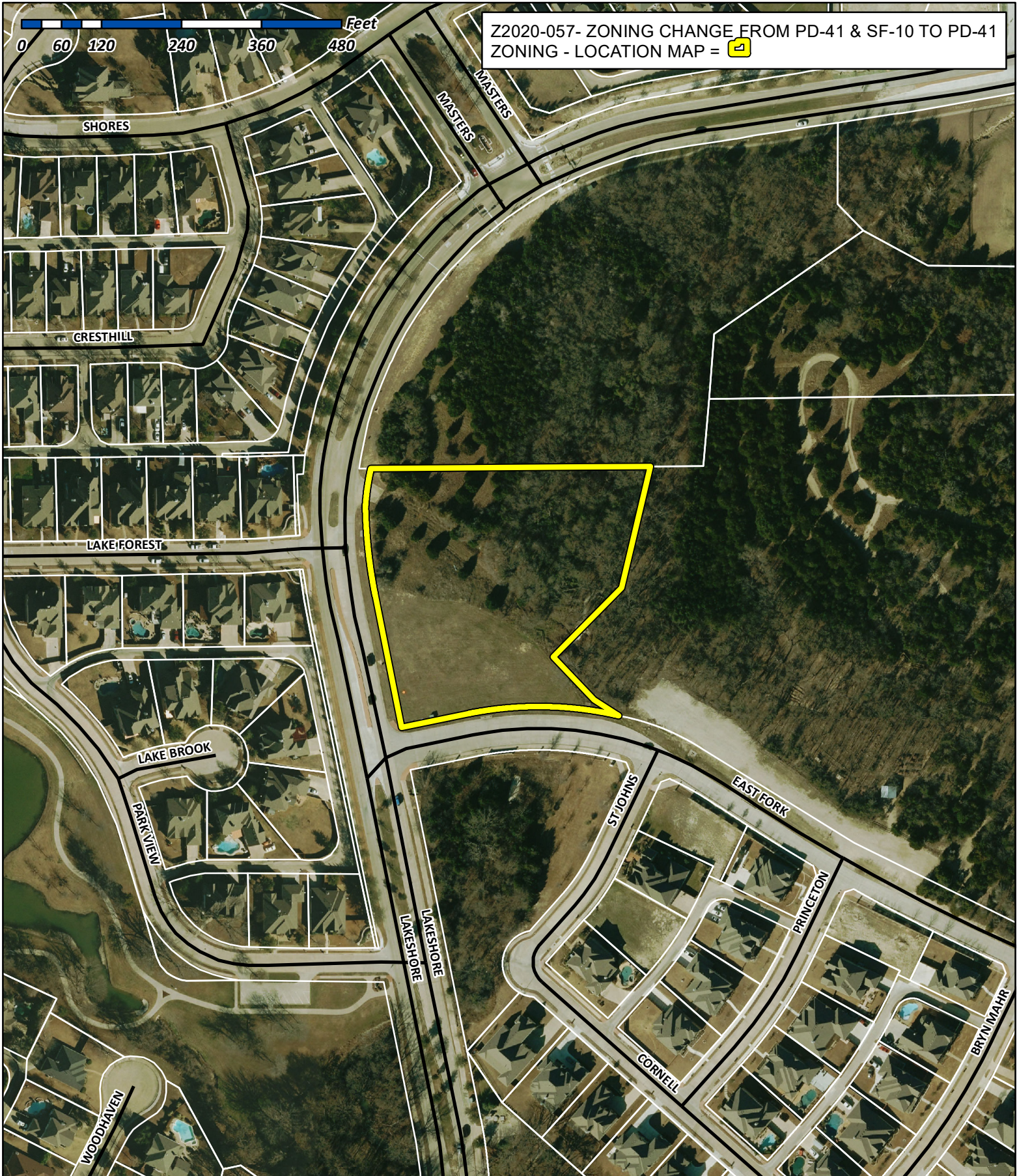
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 244.40, to cover the cost of this application, has been paid to the City of Rockwall on this the 18th day of December, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17th day of December, 20 20

Owner's Signature

Notary Public in and for the State of Texas





Z2020-057- ZONING CHANGE FROM PD-41 & SF-10 TO PD-41
 ZONING - LOCATION MAP =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

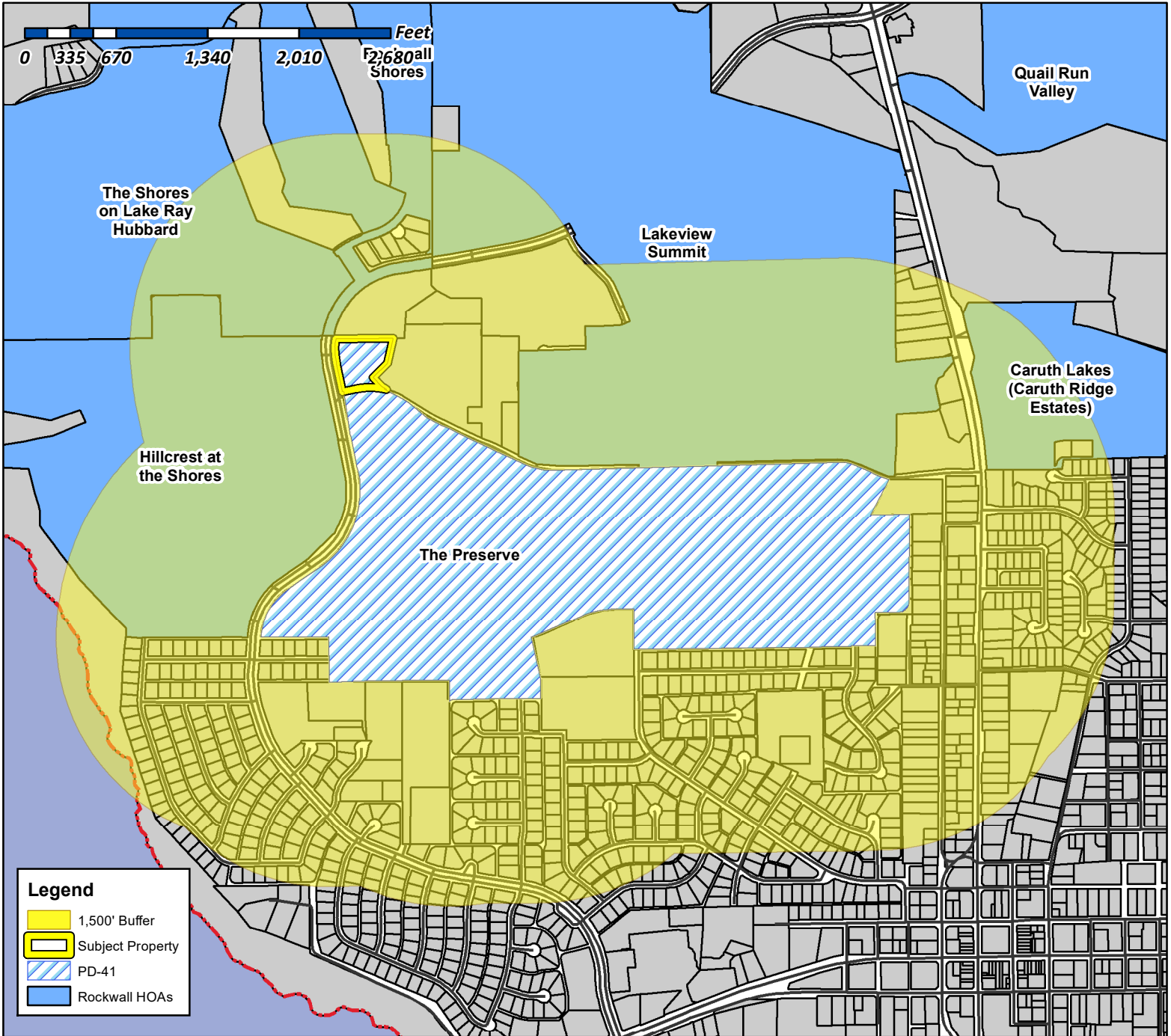
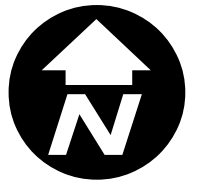




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2020-057
Case Name: Zoning Change from PD-41 & SF-10 to PD-41
Case Type: Zoning
Zoning: PD-41 & SF-10
Case Address: NEC of E. Fork Drive and N. Lakeshore Drive

Date Created: 12/19/2020
 For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Tuesday, December 22, 2020 12:13 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2020-057]
Attachments: Public Notice (12.21.2020).pdf; HOA Map (12.19.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *December 25, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 12, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 19, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-057 Zoning Change from SF-10 to PD-41

Hold a public hearing to discuss and consider a request by Doug Galloway of Viaduct Development on behalf of GotRocks Properties, LLC for the approval of a *Zoning Change* superseding *Specific Use Permit No. 57 (S-57; Ordinance No. 08-39)* and changing the zoning from a Single-Family 10 (SF-10) District to Planned Development District 41 (PD-41) for General Retail (GR) District land uses on a 2.96-acre parcel of land identified as Lot 1, Block A North Lake Shore Daycare Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for Park/Greenbelt land uses and Single-Family 10 (SF-10) District, addressed as 1940 N. Lakeshore Road, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

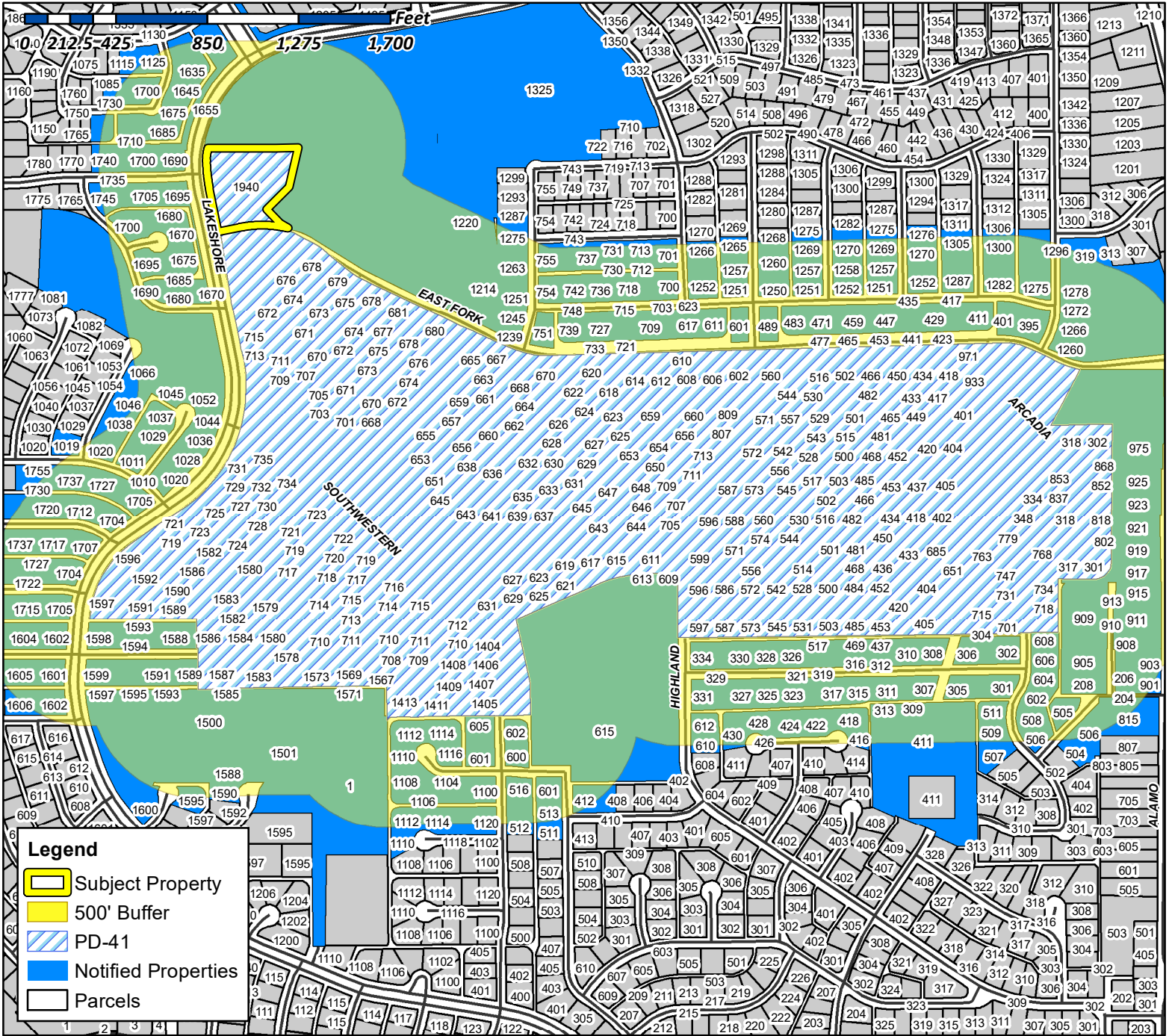
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City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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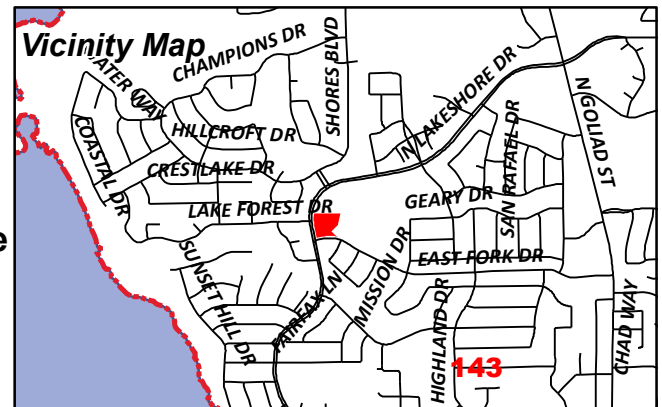


Legend

- Subject Property
- 500' Buffer
- PD-41
- Notified Properties
- Parcels

Case Number: Z2020-057
Case Name: Zoning Change from PD-41 & SF-10 to PD-41
Case Type: Zoning
Zoning: PD-41 & SF-10
Case Address: NEC of E. Fork Drive and N. Lakeshore Drive

Date Created: 12/19/2020
 For Questions on this Case Call (972) 771-7745



 = RESPONSE RECIEVED

LOFLAND WILLIAM B
1 TOPSIDE LN
ROCKWALL, TX 75087

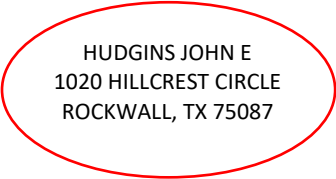
DONAHOE JOHN M & KATHRINE E
1001 N GOLIAD
ROCKWALL, TX 75087

SMITH DAVID W
1010 HILLCREST CIRCLE
ROCKWALL, TX 75087

MATHIAS ERIC J & ROBIN A
1011 HILLCREST CIR
ROCKWALL, TX 75087

BAUCHMAN NANCY
1019 WOODHAVEN CIR
ROCKWALL, TX 75087

SNEAD GENE T ETUX
102 WAGON WHEEL LN
WYLIE, TX 75098

 HUDGINS JOHN E
1020 HILLCREST CIRCLE
ROCKWALL, TX 75087

HAUER MELVIN C & VIRGINIA L
1020 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

FAGNER JOHN & EILEEN
1021 HILLCREST CIR
ROCKWALL, TX 75087

HERNANDEZ JORGE A AND MILDRED AMARILIS
CHACON
1028 HILLCREST CIR
ROCKWALL, TX 75087

WILLIAMS CHARLES & KRISTEN
1029 HILLCREST CIR
ROCKWALL, TX 75087

CORRIGAN DERRICK & STEFANIE
1030 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

OLEARY KENNETH F & TERRI A
1036 HILLCREST CIR
ROCKWALL, TX 75087

HUMPHREY MICHAEL D & SAMANTHA
1037 HILLCREST CIR
ROCKWALL, TX 75087

GOCHINAS GREGORY F & MARY D
1038 WOODHAVEN CIR
ROCKWALL, TX 75087

PONCINIE ERIC AND TRACI
1044 HILLCREST CIR
ROCKWALL, TX 75087

SIMPSON NEIL
1045 HILLCREST CIR
ROCKWALL, TX 75087

WOOD KAREN
1046 WOODHAVEN CIRCLE
ROCKWALL, TX 75087

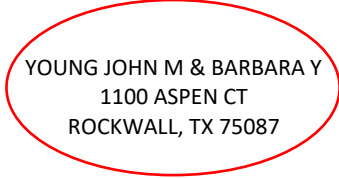
LOFLAND WILLIAM B
105 E KAUFMAN ST
ROCKWALL, TX 75087

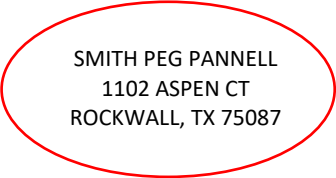
KUPTZ PAUL
1052 HILLCREST CIR
ROCKWALL, TX 75087

RAMIREZ RAYNALDO J
1054 WOODHAVEN CIR
ROCKWALL, TX 75087

PYBURN WESTON & SUZANNE V
1066 WOODHAVEN CR
ROCKWALL, TX 75087

CURANOVIC JOHN
109 ELM CREST DR
ROCKWALL, TX 75087

 YOUNG JOHN M & BARBARA Y
1100 ASPEN CT
ROCKWALL, TX 75087

 SMITH PEG PANNELL
1102 ASPEN CT
ROCKWALL, TX 75087

WEBER VERNA M
1104 ASPEN CT
ROCKWALL, TX 75087

CHU CHUNHSIN AND KOYI CHOU CHU
1105 SHORES BLVD
ROCKWALL, TX 75087

MORRIS MORGAN L JR AND JANETT E
1106 ASPEN COURT
ROCKWALL, TX 75087

HOUSER GERALD M & SHERYL
1108 ASPEN CT
ROCKWALL, TX 75087

MILLICAN GARY & TINA
1110 ASPEN CT
ROCKWALL, TX 75087

PHILLIPS HUBERT SYVELLE & LOVIE E REV LIV TR
LOVIE E PHILLIPS TRUSTEE
1110 VAIL CT
ROCKWALL, TX 75087

DICKERSON RONALD O & SHERILYN M
1112 ASPEN CT
ROCKWALL, TX 75087

RAJICH MIKE AND GRETCHEN M
1112 VAIL CT
ROCKWALL, TX 75087

CARD KIMBERLY & JONATHAN
1114 ASPEN CT
ROCKWALL, TX 75087

MOORE GEORGE W II REVOCABLE TRUST AND
JEANNE A RICHESON
1114 VAIL COURT
ROCKWALL, TX 75087

SITES SANDRA
1115 SHORES BLVD
ROCKWALL, TX 75087

CONFIDENTIAL
1116 ASPEN CT
ROCKWALL, TX 75087

MOORE DAVID Y & BEVERLY J
1116 VAIL CT
ROCKWALL, TX 75087

AUTREY MARILYN E
1118 VAIL COURT
ROCKWALL, TX 75087

ALTAMAR LINA
1120 VAIL CT
ROCKWALL, TX 75087

TEAT SHANNON NEAL
1125 SHORES BLVD
ROCKWALL, TX 75087

JARED LANDON CAIN 2005 TRUST
1150 CRESTCOVE DR
ROCKWALL, TX 75087

TROMBINI SOLANGE L & ENRICO
1155 SHORES BOULEVARD
ROCKWALL, TX 75087

HPA JV TEXAS SUBSIDIARY 2019-1 ML LLC
120 S RIVERSIDE PLZ STE 2000
CHICAGO, IL 60606

HPA TEXAS SUB 2018-1 ML LLC
120 S RIVERSIDE SUITE 2000
CHICAGO, IL 60606

JEFFUS JUSTIN AND ERIN
1214 E FORK
ROCKWALL, TX 75087

BLASE CHRISTOPHER & JILL
1220 E FORK
ROCKWALL, TX 75087

BREC ENTERPRISES LLC
1220 E FORK DRIVE
ROCKWALL, TX 75087

LU LISA YUMEI
1225 LADY DE VANCE LN
LEWISVILLE, TX 75056

ANZAI BYRON H
1239 MISSION DRIVE
ROCKWALL, TX 75087

HUX MARK
1245 MISSION DR
ROCKWALL, TX 75087

PATMAN RALPH DON
1250 HIGHLAND DR
ROCKWALL, TX 75087

BOVENKERK JAMES E JR
1251 ANTIOCH DR
ROCKWALL, TX 75087

TALLEY BLANCA JESSENIA AND JACOB
1251 HIGHLAND DR
ROCKWALL, TX 75087

CONFIDENTIAL
1251 MISSION DR
ROCKWALL, TX 75087

VINSON DON & GABRIEL
1251 STANFORD DR
ROCKWALL, TX 75087

ALFORD THOMAS & SUE
1252 ANTIOCH DR
ROCKWALL, TX 75087

HENDERSON CARLOS G AND LAURA K
1252 PETALUMA DRIVE
ROCKWALL, TX 75087

STANFORD DRIVE 1252 LAND TRUST
KATHRYN BALL TRUSTEE
1252 STANFORD DR
ROCKWALL, TX 75087

BRANKS JEREMY B & JENNIFER A
1256 HIGHLAND DR
ROCKWALL, TX 75087

PATTERSON DITALLIANNA & OLUGBEMILEKE
SHITTU
1257 ANTIOCH DRIVE
ROCKWALL, TX 75087

WASLIEN A WAYNE & RHONDA D
1257 HIGHLAND DRIVE
ROCKWALL, TX 75087

PEREZ HUMBERTO
1257 MISSION DRIVE
ROCKWALL, TX 75087

PERKINS BLAKE JORDAN AND JAIME ADAIR
1257 STANFORD DR
ROCKWALL, TX 75087

ADAMS CHRISTOPHER H & JODY E
1258 ANTIOCH DR
ROCKWALL, TX 75087

SWIFT JEREMY DAVID
1258 PETALUMA DR
ROCKWALL, TX 75087

MILLER SHIRLEY C
1258 STANFORD DRIVE
ROCKWALL, TX 75087

PELLERIN DAVID P & JODY J
1260 CALISTOGA DRIVE
ROCKWALL, TX 75087

WILSON NICKE & CONROY CHRISTOPHER
1260 HIGHLAND DR
ROCKWALL, TX 75087

KIEU THERESA AND
DAT TIEN DINH
1261 HIGHLAND DRIVE
ROCKWALL, TX 75087

FLORES WILLIAM NELSON
1262 PETALUMA DRIVE
ROCKWALL, TX 75087

LU LISA YUMEI
1263 ANTIOCH DR
ROCKWALL, TX 75087

AMERICAN HOMES 4 RENT PROPERTIES EIGHT
LLC
1263 MISSION DR
ROCKWALL, TX 75087

KEES MATTHEW AND LYDIA
1263 STANFORD DRIVE
ROCKWALL, TX 75087

HAZAIMEH MAHMOUD OMAR
1264 ANTIOCH DR
ROCKWALL, TX 75087

COMRADD ROBERT AND DANA
1264 HIGHLAND DR
ROCKWALL, TX 75087

ACUNA ANTONIO JR & CAROLYN J
1264 STANFORD DR
ROCKWALL, TX 75087

HUTCHINSON RANDI F
1265 HIGHLAND DR
ROCKWALL, TX 75087

HARRIS CYNTHIA ANN
1266 CALISTOGA DR
ROCKWALL, TX 75087

OLAN ROD A & AMY C
1266 PETALUMA DR
ROCKWALL, TX 75087

AMERICAN RESIDENTIAL LEASING COMPANY LLC
1269 ANTIOCHDR
ROCKWALL, TX 75087

MAHROUMI MOHAMMAD AND PARISA
SHAHBAZI
MANOCHEHR KIANPOUR
1269 MISSION DRIVE
ROCKWALL, TX 75087

AMH 2014-2 BORROWER LLC
1269 STANFORD DR
ROCKWALL, TX 75087

TINKLE JEFFREY H & TAMMY L
1270 ANTIOCH DR
ROCKWALL, TX 75087

POTTS JOSEPH & KELSEY
1270 STANFORD DRIVE
ROCKWALL, TX 75087

RWC HILLCREST SHORES THREE HOMEOWNERS
ASSOC INC
C/O PRINCIPAL MANAGEMENT GROUP
12700 PARK CENTRAL DRIVE, SUITE 600
DALLAS, TX 75251

FORBIS WILLIAM RUSSELL III & LYNN
1272 CALISTOGA DR
ROCKWALL, TX 75087

PHAM TONY T AND
IRENE M YEO
1275 ANTIOCH DR
ROCKWALL, TX 75087

JAMES DAVID AND SARAH A
1275 CALISTOGA DR
ROCKWALL, TX 75087

WALSER JERRY B & DEBBIE K
1275 MISSION DR
ROCKWALL, TX 75087

FRENCH RENEE J
1275 STANFORD DR
ROCKWALL, TX 75087

DEDMAN ALICIA R
1276 ANTIOCH DR
ROCKWALL, TX 75087

REED BEVERLY
1276 STANFORD DR
ROCKWALL, TX 75087

SAMANTA SANTANU
1278 CALISTOGADR
ROCKWALL, TX 75087

TEMPLETON ROBERT WILLIAM AND MARILINE
ANDEME NGUA
128 SALINAS DRIVE
ROCKWALL, TX 75087

MARQUEZ IRMA AND
NIEVES MARQUEZ
1281 CALISTOGA DR
ROCKWALL, TX 75087

HOODENPYLE PAMELA JEAN
1281 MISSION DRIVE
ROCKWALL, TX 75087

JOHNSON RONALD C & DIXIE S
1282 SALINAS DR
ROCKWALL, TX 75087

MCCOY ELI
12838 W HEMINGWAY DR
SAN FERNANDO, CA 91340

ELLIOTT JAMES J & NANCY J
1284 CALISTOGA DRIVE
ROCKWALL, TX 75087

WATSON STEPHEN BROOKS & HARRIET S
1287 CALISTOGA DR
ROCKWALL, TX 75087

PRENSA MANUEL ALEJANDRO
1287 SALINAS DRIVE
ROCKWALL, TX 75087

TEMPLETON ROBERT WILLIAM AND MARILINE
ANDEME NGUA
1288 SALINASDR
ROCKWALL, TX 75087

HILL JAMES A & JANE M
1290 CALISTOGA DR
ROCKWALL, TX 75087

HAYES SHANE AND SARAH
1293 CALISTOGA DR
ROCKWALL, TX 75087

HUNT ROBERT
1293 SALINAS DR
ROCKWALL, TX 75087

HAYES LAKISHA
1294 SALINAS DRIVE
ROCKWALL, TX 75087

CONFIDENTIAL
1296 CALISTOGA DR
ROCKWALL, TX 75087

MORTADA FOUAD A
HIBA ABDALLAH
1299 SALINAS DR
ROCKWALL, TX 75087

TUCKER PAUL A & KIM M
1300 SALINAS DR
ROCKWALL, TX 75087

SIVERTSON JAMES CHARLES & CHARLOTTE KAY
1305 SALINAS DR
ROCKWALL, TX 75087

ROCKWALL I S D
1325 PETALUMA DR
ROCKWALL, TX 75087

FREEDMAN GARY A & DEBRA L
1404 WILLOW LN
ROCKWALL, TX 75087

GREGORY GORDON L AND DEBRAH G
1405 WILLOW LN
ROCKWALL, TX 75087

ROHLF MICHAEL G AND BEVERLY J
1406 WILLOW LANE
ROCKWALL, TX 75087

MUNCY JILL S
1407 WILLOW LN
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN
1408 S LAKESHORE DR
ROCKWALL, TX 75087

SCHMITT JEFF AND TAMMI
1408 WILLOW LN
ROCKWALL, TX 75087

DONOGHUE MICHAEL J AND DANA
1409 WILLOW LN
ROCKWALL, TX 75087

SUMRALL CYNTHIA A AND
DONNA L PRUNTY
1411 WILLOW LN
ROCKWALL, TX 75087

KOVACS NICOLLE A
1413 WILLOW LANE
ROCKWALL, TX 75087

WALSER JERRY B & DEBBIE K
1450 ASHBOURNE DR
ROCKWALL, TX 75087

DOUBLE T VENTURES LLC
1500 S KREYMER LN
WYLIE, TX 75098

HALL RALPH H AND
BRETT A HALL AND J BLAKEKEY HALL
1500 SUNSET HILLDR
ROCKWALL, TX 75087

COBLE JOHN D DR & PATRICIA P
1501 SUNSET HILL DR
ROCKWALL, TX 75087

MATHIAS ERIC J & ROBIN A
1514 MALLARD HVN
SAN ANTONIO, TX 78260

REINHARDT DAVID WAYNE & ALYSON SUE
1567 NORTH HILLS DRIVE
ROCKWALL, TX 75087

BAUER SCOTT J AND CARLA G
1569 NORTH HILLS DR
ROCKWALL, TX 75087

CHANEY CHARLES & PAMELA
1571 NORTH HILLS DRIVE
ROCKWALL, TX 75087

OWEN DAVE M AND COLLEEN M
1573 NORTH HILLS DR
ROCKWALL, TX 75087

BACH DAVID M AND BETHANY N
1575 NORTH HILLS DR
ROCKWALL, TX 75087

MASLO PAUL B AND MIHUI LAURA KIM
1577 EDMONDSON TR
ROCKWALL, TX 75087

ALVARADO GARY AND MARIA
1578 NORTH HILLS DR
ROCKWALL, TX 75087

MACDONALD AMY A AND MICHAEL C
1579 EDMONDSON TR
ROCKWALL, TX 75087

MCCLENDON PAULA S
1579 N HILLS DRIVE
ROCKWALL, TX 75087

CRESPO WIMPER A AND WENDY
1580 EDMONDSON TRAIL
ROCKWALL, TX 75087

COOPER TRAVIS AND MICHELLE
1580 NORTH HILLS DR
ROCKWALL, TX 75087

PENNINGTON MICHAEL AND IVY R
1581 EDMONDSON TRAIL
ROCKWALL, TX 75087

STANLEY ROBERT WAYNE II AND CHERYL RAE
1581 NORTH HILLS DR
ROCKWALL, TX 75087

HURLEY CLINT & PAIGE NICOLE
1582 EDMONDSON TR
ROCKWALL, TX 75087

BUCKNER GARY
1582 NORTH HILLS DRIVE
ROCKWALL, TX 75087

WALDEN ALFRED F
1583 EDMONDSON TRL
ROCKWALL, TX 75087

ORTIZ MIGUEL & CIARA
1583 N HILLS DR
ROCKWALL, TX 75087

MA KIM H
1584 EDMONDSON TRAIL
ROCKWALL, TX 75087

WHITE TODD E AND PAIGE LEIGH
1584 NORTH HILLS DR
ROCKWALL, TX 75087

COSKUN HASAN & SIBEL COSKUN
1585 EDMONDSON TRL
ROCKWALL, TX 75087

ALDRICH KEVIN JAMES & DOTTIE R
1585 NORTH HILLS DRIVE
ROCKWALL, TX 75087

WILKOWSKI MATTHEW AND CATHERINE
1586 EDMONDSON TR
ROCKWALL, TX 75087

STEWART CANDY MARIE & BENJAMIN EARL
1586 NORTH HILLS DRIVE
ROCKWALL, TX 75087

OWEN ALLEN J & JESICA L
1587 EDMONDSON TRAIL
ROCKWALL, TX 75087

ORTIZ JESUS AND CINDY
1587 NORTH HILLS DR
ROCKWALL, TX 75087

BEAUBIEN ALAN AND
REVI MENASCHE
1588 NORTH HILLS DR
ROCKWALL, TX 75087

BANAN SAEED & SANDRE
1588 SUNSET HILL DR
ROCKWALL, TX 75087

MUKTAR JEMIL M
1589 EDMONDSON TR
ROCKWALL, TX 75087

ANDERSON JAMES R & E GAY
1589 N HILLS DR
ROCKWALL, TX 75087

MITCHELL HEIDI M AND AARON A
1590 EDMONDSON TR
ROCKWALL, TX 75087

KELLY JAMES D & SARA SOLIS
1590 N HILLS DR
ROCKWALL, TX 75087

ANDERSON JASON & KELLY
1590 SUNSET HILL DRIVE
ROCKWALL, TX 75087

CRUZ JUAN G AND MARIA D
1591 EDMONDSON TRACE
ROCKWALL, TX 75087

PARAMOUNT LAURELS LLC
1591 NORTH HILLS DR
ROCKWALL, TX 75087

BALLI EMILY & DAVID
1592 EDMONDSON TRAIL
ROCKWALL, TX 75087

FIDGER REVOCABLE LIVING TRUST
BRIAN FIDGER - TRUSTEE
1592 NORTH HILLS
ROCKWALL, TX 75087

MCCOY ELI
1593 EDMONDSON TRL
ROCKWALL, TX 75087

FRAGA JAVIER SANTOS
1593 NORTH HILLS DR
ROCKWALL, TX 75087

SANDERS JERRY W & MARINA
1594 N HILLS DR
ROCKWALL, TX 75087

GROOVER ANTHONY AND DONNA MARRIE
1595 EDMONDSON TR
ROCKWALL, TX 75087

GONZALES JAMES E & DEENA L
1595 HAVEN HILL CT
ROCKWALL, TX 75087

SAMRA ISSAM F & REEM M ABOU-SAMRA
1595 N HILLS DR
ROCKWALL, TX 75087

LAGRANGE DONALD AND AMY C
1596 EDMONDSON TRAIL
ROCKWALL, TX 75087

LUSTIK KENNETH & ROBERT HOPSON
1596 N HILLS DR
ROCKWALL, TX 75087

JONES LALANII
1597 EDMONDSON TRAIL
ROCKWALL, TX 75087

SHEEHAN JAMES C & JULIA
1597 N HILLS DR
ROCKWALL, TX 75087

RUSSELL ALAN DUANE
1598 NORTH HILLS DR
ROCKWALL, TX 75087

COWAN JOHN CAMERON AND KATHLEEN
VANWAGNER
1599 NORTH HILLS DR
ROCKWALL, TX 75087

CHESMAR HOMES LLC
1600 N COLLINS SUITE 1400
RICHARDSON, TX 75080

JONES JOHNNY DEWAYNE & MARTHA A
1600 N LAKESHORE DRIVE
ROCKWALL, TX 75087

TUNKS TERRY AND ELIZABETH
1601 N HILLS DR
ROCKWALL, TX 75087

SAMPSON DEAN & BARBARA KELLUM
1602 MONTCLAIR DR
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
1602 NORTH HILLS DR
ROCKWALL, TX 75087

CONFIDENTIAL
1603 NORTH HILLS DRIVE
ROCKWALL, TX 75087

PHILIPS PAUL AND PATRA M
1604 MONTCLAIR ST
ROCKWALL, TX 75087

KLUTTS BEN A JR & JULIE C
1604 N HILLS DR
ROCKWALL, TX 75087

CLARK LUTHER A ETUX
1605 N HILLS DR
ROCKWALL, TX 75087

JISTEL MICHAEL & SABRA
1606 MONTCLAIR DR
ROCKWALL, TX 75087

WATSON MATTHEW W & JAMIE D
1606 NORTH HILLS DRIVE
ROCKWALL, TX 75087

STARR RICHARD AND KATRINA STARR
1607 NORTH HILLS DRIVE
ROCKWALL, TX 75087

CONNALLY DAVID & VICKIE
1608 N HILLS DR
ROCKWALL, TX 75087

CONFIDENTIAL
1610 NORTH HILLS DRIVE
ROCKWALL, TX 75087

ROBERTS KYLE L & SUNDEE L
1615 CRESTHILL DR
ROCKWALL, TX 75087

HONEYCUTT CLINTON R & DAWN C
1625 CRESTHILL DR
ROCKWALL, TX 75087

BARBAY TERRY & ZELENA
1635 CRESTHILL DR
ROCKWALL, TX 75087

WESLEY RANDALL & CYNTHIA
1645 CRESTHILL DR
ROCKWALL, TX 75087

FOSTER DAVID L AND VICKI H
1655 CRESTHILL DRIVE
ROCKWALL, TX 75087

BELCEVIC DRAGOS & DENIE
1665 CRESTHILL DR
ROCKWALL, TX 75087

KOLLEHNER STEVEN AND AMY
1670 LAKE BROOK CIR
ROCKWALL, TX 75087

ELY JAMES
1670 PARK VIEW DR
ROCKWALL, TX 75087

PYLE JERRY W & JUDY K
1675 CRESTHILL DR
ROCKWALL, TX 75087

RIGGINS JOSH DAVID AND
MEGHAN HARRIS
1675 LAKE BROOK CIRCLE
ROCKWALL, TX 75087

GARRETT DAVID W & JULIE L
1680 LAKE BROOK CIR
ROCKWALL, TX 75087

CATLETT JAMES W & PATRICIA A TRUSTEES
JAMES W & PATRICIA A CATLETT REV LIVING
TRUST
1680 PARK VIEW DR
ROCKWALL, TX 75087

MALCHEV CHARLES G & IVANKA
1685 CRESTHILL DRIVE
ROCKWALL, TX 75087

EFENEY W MICHAEL JR & AMY LYNN
1685 LAKE BROOK CIR
ROCKWALL, TX 75087

PRODAHL DALE A & KAREN S
1685 PLUMMER DR
ROCKWALL, TX 75087

FORINASH JONATHAN
1690 LAKE BROOK CR
ROCKWALL, TX 75087

EDWARDS DENISE
1690 LAKE FOREST DR
ROCKWALL, TX 75087

CROWELL DANIEL & CYNTHIA N
1690 PARK VIEW DR
ROCKWALL, TX 75087

PRODAHL DALE A & KAREN S
1695 CRESTHILLDR
ROCKWALL, TX 75087

DELLINGER TRUST
MARVIN L DELLINGER AND ELAINE S DELLINGER
CO-TRUSTEES
1695 LAKE BROOKCIR
ROCKWALL, TX 75087

LOY COURTNEY
1695 LAKE FOREST DR
ROCKWALL, TX 75087

HENRIQUEZ ERICK J
ASHLEY NICOLE ONEY
1700 CRESTHILL DRIVE
ROCKWALL, TX 75087

BOYNE DAVID ROBERT & DEBORAH K
1700 LAKE BROOK CIR
ROCKWALL, TX 75087

HURST RICK & KIM
1700 LAKE FOREST DR
ROCKWALL, TX 75087

JOHNSON CLARENCE R & CASANDRA L
1704 BAY WATCH DR
ROCKWALL, TX 75087

SIMS DAVID E AND ANITA L
1704 LAKE BREEZE DR
ROCKWALL, TX 75087

LYNCH CHRISTOPHER J
1705 BAY WATCH DRIVE
ROCKWALL, TX 75087

RYAN JEFFREY & DARLA
1705 BAYHILL DR
ROCKWALL, TX 75087

GOODWIN FAMILY REVOCABLE TRUST
1705 CRESTHILL DR
ROCKWALL, TX 75087

MANCUSO TYLER J & TAMMY B
1705 LAKE FOREST DR
ROCKWALL, TX 75087

CONFIDENTIAL
1707 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

HEATHINGTON ERNESTINE
1710 CRESTHILL DR
ROCKWALL, TX 75087

DEARING JAMES AND KANESHA
1710 LAKE FOREST DR
ROCKWALL, TX 75087

PAULSEN LOGAN & BRANDI A
1712 BAY WATCH DRIVE
ROCKWALL, TX 75087

VAUGHN STEPHEN MICHAEL
1712 LAKE BREEZE DR
ROCKWALL, TX 75087

WHITAKER MARTIN & DORIS
1715 BAY WATCH DR
ROCKWALL, TX 75087

REPMAN MARK &
MICHELLE BASTIDAS
1715 BAYHILL DR
ROCKWALL, TX 75087

COTTON JAMES THOMAS AND AMYE LYN
1715 CRESTHILL DRIVE
ROCKWALL, TX 75087

TAYLOR MICHAEL JOSEPH JR AND HEATHER L
1717 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

WHIPPLE JOHN & COLLEEN
1720 CRESTHILL DR
ROCKWALL, TX 75087

PEDDIE STACIE
1720 LAKE BREEZE DRIVE
ROCKWALL, TX 75087

PRISOCK ANGELA RENEE
1720 LAKE FOREST DRIVE
ROCKWALL, TX 75087

KEETON KENNETH W & REBECCA
1722 BAY WATCH DR
ROCKWALL, TX 75087

HIETBRINK BERNARD D & MELISSA L
1725 BAY WATCH DR
ROCKWALL, TX 75087

BENS MARK S & JOANNA N
1725 CRESTHILL DRIVE
ROCKWALL, TX 75087

NORRIS TRENT & MARY K
1725 LAKE FOREST DR
ROCKWALL, TX 75087

VILLARREAL GLORIA M & JOSE C
1727 BAY HILLDR
ROCKWALL, TX 75087

KETON JAMES H & JEANNETTE S
1727 LAKE BREEZE DR
ROCKWALL, TX 75087

SATRIO FAMILY LIVING TRUST
1730 CRESTHILL DR
ROCKWALL, TX 75087

HIGGINS BRADLEY STEPHEN AND
AMANDA JO BURT HIGGINS
1730 LAKE BREEZE DR
ROCKWALL, TX 75087

KIM SEONG CHEOL & HEE SOOK
1730 LAKE FOREST DR
ROCKWALL, TX 75087

BREEN ROBERT AND LAURA
1732 BAY WATCHDR
ROCKWALL, TX 75087

WHALIN GREGORY L & TERRI B
1733 BAY WATCH DR
ROCKWALL, TX 75087

TETLEY GEOFFREY & PAULA SCRUBBS TETLEY
1735 CRESTHILL DR
ROCKWALL, TX 75087

MARSHALL JOHN & HEATHER
1735 LAKE FOREST DR
ROCKWALL, TX 75087

LOCKWOOD CHARLES DOUGLAS
1737 BAYHILL DR
ROCKWALL, TX 75087

BOWEN RONALD L & DEANNA K
1737 LAKE BREEZE DR
ROCKWALL, TX 75087

BYROM JOHNNY R & LYNETTE
1738 LAKE BREEZE DR
ROCKWALL, TX 75087

TUBBS LAJUAN C
1740 BAY WATCH DR
ROCKWALL, TX 75087

ULAND HARRY E & JERI M
1740 LAKE FOREST DR
ROCKWALL, TX 75087

LANZONE FAMILY LIVING TRUST
CHRIS A LANZONE AND DIANE M LANZONE-
TRUSTEES
1741 BAY WATCH DRIVE
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

MARTIN DONALD
1745 LAKE FOREST DRIVE
ROCKWALL, TX 75087

PHILLIPS JACOB AND CAREEN NAKHLEH
1747 BAYHILL DRIVE
ROCKWALL, TX 75087

KLECHA MARK AND ANGELA
1748 LAKE BREEZE DR
ROCKWALL, TX 75087

THOMPSON RONALD G & CAROLYN E
1755 BAYHILL DR
ROCKWALL, TX 75087

BARKER MARK A
1755 LAKE BREEZE DR
ROCKWALL, TX 75087

LOWNDES ROBERT
1763 BAYHILL DR
ROCKWALL, TX 75087

BARNETT JOSEPH RODNEY & LADONNA
1855 HIDDEN HILLS
ROCKWALL, TX 75087

BLALOCK DAVID PAUL
1859 KELLY LN
ROCKWALL, TX 75087

SAMANTA SANTANU
18610 SHANGRI LA DR
CANYON COUNTRY, CA 91351

GOTROCKS PROPERTIES LLC
ATTN: GENE COOPER, MANAGER
1940 N LAKESHORE RD
ROCKWALL, TX 75087

917 PROPERTIES LLC
2 MANOR COURT
HEATH, TX 75032

VANILLA BEAN PROPERTIES, SERIES 5 LLC
2 MANOR COURT
HEATH, TX 75032

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

CASTRO MICHAEL AND RENE
204 W HEATH ST
ROCKWALL, TX 75087

PRITCHETT JOHNETTA
206 W HEATH ST
ROCKWALL, TX 75087

HALL RALPH H AND
BRETT A HALL AND J BLAKEKEY HALL
207 EAST RUSK
ROCKWALL, TX 75087

ADAMS JAMES & DEBBIE
208 SUMMIT RIDGE DR
ROCKWALL, TX 75087

PEOPLES DOSVILLE
208 W HEATH ST
ROCKWALL, TX 75087

PEOPLES DOSVILLE
208 W HEATH ST
ROCKWALL, TX 75087

FIRST TEXAS HOMES INC
2221 E LAMAR BLVD STE 840
ARLINGTON, TX 76006

MASTER DEVELOPERS-SNB LLC
2400 DALLAS PARKWAY SUITE 560
PLANO, TX 75093

BEAUBIEN ALAN AND
REVI MENASCHE
2438 ADAMS STREET
HOLLYWOOD, FL 33020

GOTROCKS PROPERTIES LLC
ATTN: GENE COOPER, MANAGER
2560 TECHNOLOGY DRIVE SUITE 100
PLANO, TX 75074

THE SHORES ON LAKE RAY HUBBARD
OWNERS ASSOCIATION INC
2650 CHAMPIONS
ROCKWALL, TX 75087

CHU CHUNHSIN AND KOYI CHOU CHU
2678 TREVOR PKWY
PLEASANTON, CA 94588

AUSTIN MICHAEL CAIN 2005 TRUST
301 COOPER COURT
ROCKWALL, TX 75087

JONES WILLIAM P AND DEBRA L STODDARD-
JONES
301 SHEPARDS HILL DR
ROCKWALL, TX 75087

BANKS-KNIGHTEN STACY RENEE &
CLARENCE EDWARD JR
302 ARCADIA WAY
ROCKWALL, TX 75087

VICK JOHN C AND ANDREA E
302 SHEPARDS HILL DRIVE
ROCKWALL, TX 75087

SMITH PEG PANNELL
3021 RIDGE RD #A-155
ROCKWALL, TX 75032

SNEAD GENE T ETUX
303 SHEPARDS HILL DR
ROCKWALL, TX 75087

WHITE PAULA LYNN
304 SHEPHARDS HILL
ROCKWALL, TX 75087

DOOLEY MORRIS D. & CAROL
305 SHEPARDS HILL DR
ROCKWALL, TX 75087

HINCKLEY NANCY L
306 SHEPARDS HILL DR
ROCKWALL, TX 75087

AMH 2014-2 BORROWER LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

AMERICAN HOMES 4 RENT PROPERTIES EIGHT
LLC
30601 AGOURA RD SUITE 200
AGOURA HILLS, CA 91301

SCHUENEMAN ZACHARI
307 SHEPARDS HILL DR
ROCKWALL, TX 75087

GREENLEE PEGGY BARRON
308 SHEPARDS HILL DR
ROCKWALL, TX 75087

FALLS DAVID C & TERRI L
309 ROOKERY CT
MARCO ISLAND, FL 34145

TENNER COLLEEN
309 SHEPARDS HILL DRIVE
ROCKWALL, TX 75087

WILLIAMSON KIRBY E & KASIE L
310 SHEPARDS HILL DR
ROCKWALL, TX 75087

HARROD JAMES G
311 SHEPARDS HILL DR
ROCKWALL, TX 75087

STOKES HAROLD W JR
312 SHEPARDS HILL DR
ROCKWALL, TX 75087

MCAFFEE TED N/GAYLE B
313 SHEPARDS HILL DR
ROCKWALL, TX 75087

BAKER JAY HENRY
314 SHEPARDS HILLDR
ROCKWALL, TX 75087

BUMELIS ANTHONY A & MELISSA L
315 SHEPARDS HILL DR
ROCKWALL, TX 75087

BLALOCK DAVID PAUL
316 SHEPARDS HILLDR
ROCKWALL, TX 75087

METOYER GREGORY K AND FRANCES M
317 COOPER STREET
ROCKWALL, TX 75087

FUEHRER RICHARD W & LISA
317 SHEPARDS HILL DR
ROCKWALL, TX 75087

WEAST BRIAN J AND
CYNTHIA C BROWN
318 ARCADIA WAY
ROCKWALL, TX 75087

WEBER MARY JANE
318 COOPER CT
ROCKWALL, TX 75087

STEINBERG JANELLE LORRAINE
318 SHEPARDS HILL DR
ROCKWALL, TX 75087

DANG YUNKUN & ZILAI ZHANG
319 LOS ALTOS DR
ROCKWALL, TX 75087

LOSEKE GREGORY
319 SHEPARDS HILL DR
ROCKWALL, TX 75087

BURNS TOMMY AND DOREEN
320 SHEPARDS HILL DR
ROCKWALL, TX 75087

HAYDEN ROBERT M ET UX
321 SHEPARDS HILL DR
ROCKWALL, TX 75087

COLVIN ANDREW CODY
322 SHEPARDS HILL DRIVE
ROCKWALL, TX 75087

JOHNSON CHARLES AND STEPHANIE
323 SHEPARDS HILL DR
ROCKWALL, TX 75087

PESTA DAVID M AND LYNDA M
324 SHEPARDS HILLDR
ROCKWALL, TX 75087

GRAVES JILL J AND WILLIAM J
325 SHEPARDS HILL DRIVE
ROCKWALL, TX 75087

GREEN SUSAN MELANIE & KYLE B
326 SHEPARDS HILL DRIVE
ROCKWALL, TX 75087

WARD MATTHEW D AND KARI N
327 SHEPARDS HILL DR
ROCKWALL, TX 75087

BROWN AILEEN S
328 SHEPARDS HILL DR
ROCKWALL, TX 75087

RILEY TERRI L
329 SHEPARDS HILL DR
ROCKWALL, TX 75087

VALENZUELA LINETTA
330 SHEPARDS HILL DR
ROCKWALL, TX 75087

LENSCH ELIZABETH
331 SHEPARDS HILL DR
ROCKWALL, TX 75087

ARROYAVE INES M
332 SHEPARDS HILL DRIVE
ROCKWALL, TX 75087

BOLER RICKY D JR AND
NANCY L GUTIERREZ
334 COOPER COURT
ROCKWALL, TX 75087

PESTA DAVID M AND LYNDA M
334 SHEPARDS HILL DR
ROCKWALL, TX 75087

PESTA DAVID & LYNDA
334 SHEPARDS HILL DRIVE
ROCKWALL, TX 75087

JARED LANDON CAIN 2005 TRUST
348 COOPER CT
ROCKWALL, TX 75087

PARANJAPE SHARADCHANDRA V AND SUSHAMA
S
3630 VANOUVER DR
DALLAS, TX 75229

DONAHOE JOHN M & KATHRINE E
38 DEWEY PLACER DR
BRECKENRIDGE, CO 80424

LAKEVIEW SUMMIT HOMEOWNERS
ASSOCIATION
C/O VCM, INC.
395 MONTERREYDR
ROCKWALL, TX 75087

LINGAMANENI LAKSHMIKALA
401 ARCADIA WAY
ROCKWALL, TX 75087

LAKEVIEW SUMMIT HOMEOWNERS
ASSOCIATION
C/O VCM, INC.
401 MONTERREYDR
ROCKWALL, TX 75087

STRONG ASHTON MARIE AND JEFFREY BRIAN
402 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

STRIFLER SHERRI AND DONALD
404 BEDFORD FALLS LANE
ROCKWALL, TX 75087

ERSKINE HUGH DWIGHT AND DIANNE
ELIZABETH
404 CENTENARY LN
ROCKWALL, TX 75087

RHIESE ENTERPRISES LLC
405 BEDFORD FALLS LANE
ROCKWALL, TX 75087

BULLOCK HAROLD AND HEATHER
405 CENTENARY LANE
ROCKWALL, TX 75087

MCCREARY LYN
410 DRIFTWOOD ST
ROCKWALL, TX 75087

LAKEVIEW SUMMIT HOMEOWNERS
ASSOCIATION
C/O VCM, INC.
411 MONTERREY DR
ROCKWALL, TX 75087

WILLIAMS HORACE LEE JR
411 VALLEY DR
ROCKWALL, TX 75087

ADAMSON CHRISTOPHER D & DANA
412 DRIFTWOOD ST
ROCKWALL, TX 75087

SCHAIBLY CURTIS
416 E COACHLIGHT TRAIL
ROCKWALL, TX 75087

GWELLEM VALENTINE AND FELICITAS
417 ARCADIA WAY
ROCKWALL, TX 75087

LAKEVIEW SUMMIT HOMEOWNERS
ASSOCIATION
C/O VCM, INC.
417 MONTERREYDR
ROCKWALL, TX 75087

GAMARA JEFFREY AND ERIN
418 ARCADIA WAY
ROCKWALL, TX 75087

MORRIS CHERYL A
418 E COACHLIGHT TRL
ROCKWALL, TX 75087

TRAINER JOSEPH CARTER III AND MELISSA ANN
418 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

MORENO WILFRED AND VENUS D
420 BEDFORD FALLS LANE
ROCKWALL, TX 75087

SAUNDERS ROBERT C
420 CENTENARY LANE
ROCKWALL, TX 75087

DYER LELA A
420 E COACHLIGHT TRL
ROCKWALL, TX 75087

CANNON CORY A AND EVA M
421 BEDFORD FALLS LANE
ROCKWALL, TX 75087

HILLTOP SUNRISE REVOCABLE LIVING TRUST
KRYSTLE JOI REYNOLDS & DAVID SUTHERLAND
REYNOLDS CO-TRUSTEES
421 CENTENARY LANE
ROCKWALL, TX 75087

HOLMSTROM JAMES CHRISTIAN AND LAUREN
MAY
422 E COACHLIGHT TRAIL
ROCKWALL, TX 75087

MAUVAIS CLIFFORD AND JACQUELINE
423 MONTEREY DRIVE
ROCKWALL, TX 75087

TERMIN JACOB E & ALEXANDRA M
424 COACHLIGHT TRAIL
ROCKWALL, TX 75087

DAVENPORT RENTAL PROPERTIES - SERIES 426
COACHLIGHT TRAIL
426 COACHLIGHTTRL
ROCKWALL, TX 75087

PRATER SAMUEL LEE AND LAUREN NICOLE
428 COACHLIGHT TRL
ROCKWALL, TX 75087

SHAFFER DAVID L & BETH A
429 MONTEREY DR
ROCKWALL, TX 75087

REININGER DAVID W & ELLEN
430 COACHLIGHTTRL
ROCKWALL, TX 75087

SATRIO FAMILY LIVING TRUST
4309 WASKOM DR
PLANO, TX 75024

WHITE JASON AND CATHRINE
433 ARCADIA WAY
ROCKWALL, TX 75087

LIFE SPRING CHURCH
433 SOUTHWESTERN
ROCKWALL, TX 75087

COALTER JEREMY
434 ARCADIA WAY
ROCKWALL, TX 75087

HOWELL RONALD & MICHELE
434 JORDAN FARM CIRCLE
ROCKWALL, TX 75087

LEWIS PETRINA AND JAMES V
434 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

LITTLE THOMAS R & KIMBERLY A
435 MONTEREY DR
ROCKWALL, TX 75087

CASTRO BRANDON T AND KRISTINA
436 BEDFORD FALLS LANE
ROCKWALL, TX 75087

FOSTER EUGENE AND CAROLYN
436 CENTENARY LANE
ROCKWALL, TX 75087

CACERES HECTOR U AND MERICYL D
437 BEDFORD FALLS LANE
ROCKWALL, TX 75087

HINKLE PAULA JEAN AND JAMES DOUGLAS
437 CENTENARY LANE
ROCKWALL, TX 75087

MOELLER DEBORAH & MARK C
441 MONTEREY DR
ROCKWALL, TX 75087

HENRY MATTHEW C
447 MONTEREYDR
ROCKWALL, TX 75087

WILLS SUZANNE ALLANE AND MICHAEL R ROYCE
449 ARCADIA WAY
ROCKWALL, TX 75087

GASHI VALON & VLORA GLLAREVA
449 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

FOOTE RUSSELL KIRK
LINDSAY POW THORPE
450 ARCADIA WAY
ROCKWALL, TX 75087

CHESMAR HOMES DFW LTD
450 GEARS RD
HOUSTON, TX 77067

PATTERSON KYLE WESTON AND SHILOH
450 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

CUPITO ALISON AND CHRISTOPHER K
452 BEDFORD FALLS LANE
ROCKWALL, TX 75087

KIM JUSTIN
452 CENTENARY LANE
ROCKWALL, TX 75087

RHIESE ANDREAS
453 BEDFORD FALLS LANE
ROCKWALL, TX 75087

GARZA GARYL L AND TRACY H
453 CENTENARY LANE
ROCKWALL, TX 75087

MARES MICHAEL T & DEBBIE R
453 MONTEREY DR
ROCKWALL, TX 75087

GOODWIN FAMILY REVOCABLE TRUST
4559 LANDEROS AVE
LA VERNE, CA 91750

ARCENEUX HOWARD & SALLY
459 MONTEREY DR
ROCKWALL, TX 75087

LEWIS CORAL SUE
465 ARCADIA WAY
ROCKWALL, TX 75087

NICHOLSON DRUE E III & NANCY R
465 MONTEREY DR
ROCKWALL, TX 75087

WYNNE MATTHEW & SAMANTHA
465 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

GARCIA CRAIG R & LORENA
466 ARCADIA WAY
ROCKWALL, TX 75087

MORROW JEFFREY SCOTT & CHRISTY DAWN
466 SOUTHWESTERN DRIVE
ROCKWALL, TX 75089

OCONNOR ROBERT AND KERRI
468 BEDFORD FALLS
ROCKWALL, TX 75087

CLAYTON DAMEON AND TYRA
468 CENTENARY LANE
ROCKWALL, TX 75087

COX FAMILY TRUST
WENDELL J COX AND SHANA BECTON COX-
TRUSTEES
469 BEDFORD FALLS LANE
ROCKWALL, TX 75087

PARANJAPE SHARADCHANDRA V AND SUSHAMA
S
469 CENTENARYLN
ROCKWALL, TX 75087

SWAN DANIEL AND CAMILLE
471 MONTEREY DR
ROCKWALL, TX 75087

DAVENPORT RENTAL PROPERTIES - SERIES 426
COACHLIGHT TRAIL
474 KEYSTONE BEND
HEATH, TX 75032

TRAN HOA T AND
HAI M PHAM
477 MONTEREY DR
ROCKWALL, TX 75087

HODGES PATRICK LEE AND TERESA ANN
481 ARCADIA WAY
ROCKWALL, TX 75087

CHESMAR HOMES DFW LTD
481 SOUTHWESTERNDR
ROCKWALL, TX 75087

PARMAR ANKIT & TRUPTI HULE
482 ARCADIA WAY
ROCKWALL, TX 75087

RASCO MICHAEL TODD & BECKY ANDRA
482 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

KIM JAMES I & MELISSA E
483 MONTEREY DR
ROCKWALL, TX 75087

TOLMAN STEPHEN JAY & JAN
484 BEDFORD FALLS
ROCKWALL, TX 75087

ZIEMINSKI MICHAEL GARRETT AND SHELBY ERIN
484 CENTENARY LANE
ROCKWALL, TX 75087

PATEL YOGESH AND MITALBEN Y
485 BEDFORD FALLS LANE
ROCKWALL, TX 75087

FLANDER GRANT P AND NICOLE L
485 CENTENARY LANE
ROCKWALL, TX 75087

HINOJOSA GLADYS
489 MONTEREY DRIVE
ROCKWALL, TX 75087

VILLARREAL GLORIA M & JOSE C
4914 W 106TH ST
OAK LAWN, IL 60453

HENDERSON GRANT D AND NGAN T LY
500 BEDFORD FALLS LN
ROCKWALL, TX 75087

DORN DANIEL LAWRENCE AND
LOURDES MARIA BUSH
500 CENTENARY LANE
ROCKWALL, TX 75087

FIRST TEXAS HOMES INC
500 CRESCENT COURT SUITE 350
DALLAS, TX 75201

BOHANNAN CLARENCE WILLIAM AND LAVONNE
LYNNETTE
501 ARCADIA WAY
ROCKWALL, TX 75087

ONEAL LARRY B AND TRACIE
501 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

NERGER JONATHAN JEFFREY AND SARA
ELIZABETH
502 ARCADIA WAY
ROCKWALL, TX 75087

MCANGUS JODIE AND ROBERT
502 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

LASTER STEVEN D AND CYNTHIS G RICHARDSON
503 BEDFORD FALLS LN
ROCKWALL, TX 75087

PARRA-LOZA JOSE IGNACIO
503 CENTENARY LANE
ROCKWALL, TX 75087

NASH M CALVIN ETUX
504 WILDWOOD TER
ROCKWALL, TX 75087

HOWELL RONALD & MICHELE
505 WILDWOODTERRACE
ROCKWALL, TX 75087

HLADKY LAUREN ASHLEY AND CALEB DALTON
506 WILDWOOD LN
ROCKWALL, TX 75087

HICKERSON JON D
506 WILDWOOD TER
ROCKWALL, TX 75087

DURAN SAMUEL T & LINDA M
507 WILDWOOD LN
ROCKWALL, TX 75087

ALLEN TRACY
508 WILDWOOD LANE
ROCKWALL, TX 75087

CONFIDENTIAL
509 WILDWOOD LN
ROCKWALL, TX 75087

BIFFLE SUZANNE M
511 CARRIAGE TR
ROCKWALL, TX 75087

PELANDER FAMILY TRUST
CHARLOTTE D PELANDER- TRUSTEE
511 WILDWOODLN
ROCKWALL, TX 75087

HAM JOSHUA L
512 HIGHVIEW LANE
ROCKWALL, TX 75087

CONFIDENTIAL
512 HIGHVIEW LN
ROCKWALL, TX 75087

FITZGERALD PATRICK & NICOLE
513 CARRIAGE TRAIL
ROCKWALL, TX 75087

MILLER BENJAMIN MICHAEL AND SHANNA
514 BEDFORD FALLS LN
ROCKWALL, TX 75087

EDET ROSE
514 CENTENARY LANE
ROCKWALL, TX 75087

SHANNON SETH R
514 HIGHVIEW LN
ROCKWALL, TX 75087

BENSON TODD EVAN JR AND ANSLEY ELIZABETH
515 ARCADIA WAY
ROCKWALL, TX 75087

PATEL AMAR C AND HETAL AMAR
515 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

SHERARD SCOTT THOMAS AND CATHERINE ANN
516 ARCADIA WAY
ROCKWALL, TX 75087

BASSELIN TIMOTHY J & ROBIN M
516 HIGHVIEW LANE
ROCKWALL, TX 75087

FIRST TEXAS HOMES INC
516 SOUTHWESTERNDR
ROCKWALL, TX 75087

GASHI EMRUSH AND MIRADIJE
517 BEDFORD FALLS LANE
ROCKWALL, TX 75087

CHHABRA MANOHAR AND NEELAM
517 CENTENARY LANE
ROCKWALL, TX 75087

JONES LAVITA DIANNE
528 BEDFORD FALLS LANE
ROCKWALL, TX 75087

DUNLAP BRIAN AND MICHELLE
528 CENTENARY LANE
ROCKWALL, TX 75087

HICKS NICOLE AND WILLIE
529 ARCADIA WAY
ROCKWALL, TX 75087

GEORGEI REHAM N AND
EHAB YOUSSEF
529 SOUTHWESTERN DR
ROCKWALL, TX 75087

STEWART MATTHEW C AND KIMBERLY KAY
530 ARCADIA WAY
ROCKWALL, TX 75087

FIRST TEXAS HOMES INC
530 SOUTHWESTERN DR
ROCKWALL, TX 75087

DENNARD STACEY AND DARREN
531 BEDFORD FALLS LANE
ROCKWALL, TX 75087

SHEPARD ALVIN K AND JENNIFER A
531 CENTENARY LANE
ROCKWALL, TX 75087

CHESMAR HOMES LLC
542 BEDFORD FALLS LN
ROCKWALL, TX 75087

MASON ATOYA L AND LONDON JERMAINE
542 CENTENARY LANE
ROCKWALL, TX 75087

WILLIAMS BRANDON B AND TERRI L
543 ARCADIA WAY
ROCKWALL, TX 75087

CHESMAR HOMES LLC
543 SOUTHWESTERN DR
ROCKWALL, TX 75087

RAMIREZ RAY AND VALERIE
544 ARCADIA WAY
ROCKWALL, TX 75087

FAKHRI MOHAMMED F
544 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

KONIECZNY MICHAEL EDWARD AND CARINE
RICE-KONIECZNY
545 BEDFORD FALLS LANE
ROCKWALL, TX 75087

MCDERMOTT JOHN MICHAEL AND KAREN
MURRAY
545 CENTENARY LN
ROCKWALL, TX 75087

ANDERSON STEVEN K AND HEATHER
556 BEDFORD FALLS LANE
ROCKWALL, TX 75087

MAULADAD MUNAL AND
NICHOLA WATTS
556 CENTENARY LANE
ROCKWALL, TX 75087

WOMACK LAWRENCE JAMES AND SHIRLEY ANN
557 ARCADIA WAY
ROCKWALL, TX 75087

SAMPLE CRAIG ALLEN AND MISTY MICHELLE
557 SOUTHWESTERN DR
ROCKWALL, TX 75087

HENDRICKS JAMES AND BRENDA
559 BEDFORD FALLS LANE
ROCKWALL, TX 75087

BODIN CHARLOTTE WILSON
559 CENTENARYLN
ROCKWALL, TX 75087

PAYNE TIMOTHY D
560 ARCADIA WAY
ROCKWALL, TX 75087

WICH PAUL HENRY AND LAINE QUENBY
STRUSIS-WICH
560 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

HUTCHINSON RANDI F
5605 JAMES GUNNELL LANE
ALEXANDRIA, VA 22301

MCLEROY JIMMY D AND AMY W
571 ARCADIA WAY
ROCKWALL, TX 75087

CAIN ZACHARY D AND ANGELA
571 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

JOHNSON JOHN P & DEBORAH G, TRUSTEES
JOHN & DEBORAH REVOCABLE TRUST
572 BEDFORD FALLS LANE
ROCKWALL, TX 75087

BROCK CHRISTOPHER JOHN AND LEASHA KAROL
572 CENTENARY LANE
ROCKWALL, TX 75087

GASHI VALON AND
VLORA GLLAREVA
573 BEDFORD FALLS LANE
ROCKWALL, TX 75087

HODGES GREGORY C AND KELLIANNE B
573 CENTENARY LANE
ROCKWALL, TX 75087

JOHNSON SEAN AND BRITTNEY
574 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

LAKEVIEW SUMMIT HOMEOWNERS
ASSOCIATION
C/O VCM, INC.
5757 ALPHA ROAD SUITE 680
DALLAS, TX 75240

FORD TINA OSVALD AND ERIC THOMAS
585 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

SHUBAT LEE-MING AND THEODORE
586 BEDFORD FALLS LANE
ROCKWALL, TX 75087

ROHLF DAVID E
587 BEDFORD FALLS LANE
ROCKWALL, TX 75087

PADRON-WELLS PATRICIA
587 CENTENARY LANE
ROCKWALL, TX 75087

HASTON JAMES C AND KATHRYN G
588 SOUTHWESTERN DR
ROCKWALL, TX 75087

HEFNER STEPHEN MARK
593 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

LONGRUN HOLDINGS LLC SERIES C
5941 GLENDOWER LANE
PLANO, TX 75093

RIDDLE STEPHEN & DANIELLE
596 BEDFORD FALLS LN
ROCKWALL, TX 75087

MARTINEZ AMY J AND GILBERT
596 SOUTHWESTERN DR
ROCKWALL, TX 75087

CHESMAR HOMES LLC
597 BEDFORD FALLSLN
ROCKWALL, TX 75087

SUMMERS JEFFREY TODD AND EDEN LYNN
599 SOUTHWESTERN DR
ROCKWALL, TX 75087

CAMACHO ADAM J AND MARIA S
600 HIGHVIEW LN
ROCKWALL, TX 75087

MEHL ROBERT F III & JOAN
601 CARRIAGE TRL
ROCKWALL, TX 75087

LAUREA PETER A AND BRENDA M
601 HIGHVIEW LANE
ROCKWALL, TX 75087

TIREVOLD TODD R & SHARI L
601 MONTEREY DR
ROCKWALL, TX 75087

HARLESS TY & SHELLY
602 ARCADIA WAY
ROCKWALL, TX 75087

SMILEY THOMAS S & LYDIA DENISE
602 HIGHVIEW
ROCKWALL, TX 75087

HANSARD STANLEY E ETUX DALE
602 WILDWOOD LN
ROCKWALL, TX 75087

HEAD ACE AND LOIS
603 HIGHVIEW LN
ROCKWALL, TX 75087

KENDALL DANIEL & JESSICA
604 WILDWOOD LANE
ROCKWALL, TX 75087

ROONEY CATHERINE
605 HIGHVIEW LN
ROCKWALL, TX 75087

SCHMIDT CARA D AND JUSTIN C
606 ARCADIA WAY
ROCKWALL, TX 75087

MURRAY JAMES & VIRGINIA
606 WILDWOOD LN
ROCKWALL, TX 75087

HARRIS ROBERT G AND JANICE L
608 ARCADIA WAY
ROCKWALL, TX 75087

BELL ZACHARY A AND ELIZABEH H
608 WILDWOOD LN
ROCKWALL, TX 75087

NOLAN KRISTIN N
609 SOUTHWESTERN DR
ROCKWALL, TX 75087

OLORTEGUI CLAUDIA MARINA
610 ARCADIA WAY
ROCKWALL, TX 75087

JONES DONALD R & JANE YOUNG JONES
610 HIGHLAND DR
ROCKWALL, TX 75087

DANG YUNKUN & ZILAI ZHANG
6109 WINSTEAD DR
PLANO, TX 75024

SENS GREGORY B AND
MILTON A SENS
611 MONTEREY DR
ROCKWALL, TX 75087

HOAG TRUST
BRIAN A & MICHELE D HOAG TRUSTEES
611 SOUTHWESTERN DR
ROCKWALL, TX 75087

SULLIVAN JAMIE LEANNE
612 ARCADIA WAY
ROCKWALL, TX 75087

BEKDASH HANI & MARITZA
612 HIGHLAND DR
ROCKWALL, TX 75087

BLAKELY JAMES H AND TRACY E
613 SOUTHWESTERN
ROCKWALL, TX 75087

SANBORN MARK D & STEHANIE N
614 ARCADIA WAY
ROCKWALL, TX 75087

BAKER JAY HENRY
614 KNOLLWOOD DR
ROCKWALL, TX 75087

ROCKWALL I S D
615 HIGHLANDDR
ROCKWALL, TX 75087

SHERIDAN EDMUND M & ALYSE L
615 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

GARLAND PAMELA M & MARK
616 ARCADIA WAY
ROCKWALL, TX 75087

EDSALL PATRICK J & SUSAN E
617 MONTEREY DR
ROCKWALL, TX 75087

LEE SEUNG WON AND HEE YEON RHEE
617 SOUTHWESTERN DR
ROCKWALL, TX 75087

DRAPER CASEY AND LINDSAY
618 ARCADIA WAY
ROCKWALL, TX 75087

DICKINSON SHANE & SARA
619 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

JOHNSTON LYENDA
620 ARCADIA WAY
ROCKWALL, TX 75087

LANGLEY RONALD AND SHERI TILLMAN
621 SOUTHWESTERN DR
ROCKWALL, TX 75087

BYRD CHRISTOPHER A & CARRIE E
622 ARCADIA WAY
ROCKWALL, TX 75087

KLEINHEKSEL TERRY A & BETSY A
623 ARCADIA WAY
ROCKWALL, TX 75087

MOORE RICHARD C & MICHELLE A
623 MONTEREY DR
ROCKWALL, TX 75087

SCHALK LUCAS STOWELL AND LINDSEY FOOTE
623 SOUTHWESTERN DR
ROCKWALL, TX 75087

HERRERA JOSE G & ASHLEIGH R
624 ARCADIA WAY
ROCKWALL, TX 75087

NICHOLL JONATHAN CHRISTOPHER AND SUSAN
FRANCE
625 ARCADIA WAY
ROCKWALL, TX 75087

SHAW JASON & JAMIE
625 SOUTHWESTERN DRIVE
ROCKWALL, TX 75087

BARKER MARION CARLISLE JR AND DENISE
JIMENEZ
626 ARCADIA DR
ROCKWALL, TX 75087

GROENING WAYNE LEWIS & JANET LYNN
627 ARCADIA WAY
ROCKWALL, TX 75087

HOWARD JOHN MICHAEL AND JULIE ANN
627 SOUTHWESTERN DR
ROCKWALL, TX 75087

QUAGLIANA DOUGLAS
628 ARCADIA DR
ROCKWALL, TX 75087

CAMPBELL DUNCAN AND TIFFANY 2012
REVOCABLE LIVING TRUST
629 ARCADIA WAY
ROCKWALL, TX 75087

LINDENMEYER DOUGLAS L AND CYNTHIA A
629 SOUTHWESTERN DR
ROCKWALL, TX 75087

HENDERSON LEONARD S II & ANA
630 ARCADIA WAY
ROCKWALL, TX 75087

FITHIAN GRANT AND ALLISON
631 ARACADIA WAY
ROCKWALL, TX 75087

PRESERVE HOMEOWNERS ASSOC INC
C/O REALMANAGE
631 SOUTHWESTERNDR
ROCKWALL, TX 75087

DEVILLIER JENNIFER L AND BARCY C
632 ARACADIA WAY
ROCKWALL, TX 75087

GLASS STEVEN R AND KRISTINE E
633 ARCADIA WAY
ROCKWALL, TX 75087

BOCKEY PATRICK AND CHELSEY
634 ARCADIA WAY
ROCKWALL, TX 75087

HODGES SEAN AND STEPHANIE
635 ARCADIA WAY
ROCKWALL, TX 75087

CHESMAR HOMES LLC
636 ARCADIAWAY
ROCKWALL, TX 75087

WRIGHT CHARLES A AND LAURA K
637 ARCADIA WAY
ROCKWALL, TX 75087

KNACK DANIEL ROBERT AND ASHLEE NICOLE
638 ARCADIA WAY
ROCKWALL, TX 75087

THOMPSON BRUCE DEAN AND ARDIS ELIZABETH
639 ARCADIA WAY
ROCKWALL, TX 75087

MARX WAYNE M & KALYN L STEELE
641 ARCADIA WAY
ROCKWALL, TX 75087

ANDERSON MARK D & TONYA R
643 ARCADIA WAY
ROCKWALL, TX 75087

CHAW GLORY AND TIMOTHY AULBAUGH
643 GILLON WAY
ROCKWALL, TX 75087

SYRIOS DAVID J AND ABIGAYLE R
644 GILLON WAY
ROCKWALL, TX 75087

SMITH DOUGLAS S & ROBYN R
645 ARCADIA WAY
ROCKWALL, TX 75087

HUDSON GINA AND HERMAN L JR
645 GILLON WAY
ROCKWALL, TX 75087

SOULDERS BRANDON ROBERT AND ASHLIE
ELIZABETH
646 GILLON WAY
ROCKWALL, TX 75087

RAMOS ALFREDO
647 GILLON WAY
ROCKWALL, TX 75087

ROBERTS ERICA AND TASLOW D
648 GILLON WAY
ROCKWALL, TX 75087

WHITE CATHY M AND ROBERT L
649 GILLON WAY
ROCKWALL, TX 75087

GRAVES CASEY AND STACY
650 GILLON WAY
ROCKWALL, TX 75087

CHALAMBAGA ALMA DELIA AND DAVID
651 GANNON HEIGHTS LANE
ROCKWALL, TX 75087

GIBBS AMY
651 GILLON WAY
ROCKWALL, TX 75087

MOELLER DEBORAH & MARK C
651 MISSION DR
ROCKWALL, TX 75087

CONFIDENTIAL
651 MISSION DR
ROCKWALL, TX 75087

BREDY RHETT AND
ROXANNE BREDY
652 GILLON WAY
ROCKWALL, TX 75087

MARKEE STEVEN JAMES AND JENNIFER LYNN
653 GILLON WAY
ROCKWALL, TX 75087

FITHIAN BEVERLY & REX
653 MISSION DR
ROCKWALL, TX 75087

DWORSHAK DANIEL AND JANICA D BECKSTRAND
654 GILLON WAY
ROCKWALL, TX 75087

JONES TYLER & LAUREN
655 GILLON WAY
ROCKWALL, TX 75087

BLACK RICARDO N & LORY C
655 MISSION DR
ROCKWALL, TX 75087

ROBBINS CHARLES STEPHEN & DIANE ELIZABETH
656 GILLON WAY
ROCKWALL, TX 75087

JANAK JENNIFER L AND JOHN P
656 MISSION DR
ROCKWALL, TX 75087

MALONE CLANTON
657 MISSION DR
ROCKWALL, TX 75087

LATHAM REY AND JEWELLYN
659 GILLON WAY
ROCKWALL, TX 75087

HULL JEFFREY C AND CARLA R
659 MISSION DR
ROCKWALL, TX 75087

ELLIS NATHAN & KACIE J
660 GILLON WAY
ROCKWALL, TX 75087

VILLAFANA BILL G & DIANE B
660 MISSION DR
ROCKWALL, TX 75087

REININGER DAVID W & ELLEN
6601 BANDALIA DR
ROWLETT, TX 75089

BREEN ROBERT AND LAURA
661 JUSTIN RD
ROCKWALL, TX 75087

CUMMINGS TERENCE J & CHERYL L
661 MISSION DR
ROCKWALL, TX 75087

WELLS WESTLEY ADAM AND LEEANN
662 MISSION DRIVE
ROCKWALL, TX 75087

COLLIER JAMES P AND LINDA K
663 MISSION DRIVE
ROCKWALL, TX 75087

EBEIER JOHN C & DANIELLE B EBEIER
664 MISSION DR
ROCKWALL, TX 75087

RAMSEY JAMES & CYNTHIA
665 MISSION DR
ROCKWALL, TX 75087

BLACKWELL DEREK AND CASSIE
667 MISSION DR
ROCKWALL, TX 75087

GROVES JOSEPH M & MARIE E
668 BRYN MAHR LN
ROCKWALL, TX 75087

JACKSON TRACY & RETHA
668 MISSION DR
ROCKWALL, TX 75087

STUDENNIKOV VITALY AND
VLADIMIR STUDENNIKOV AND MARINA
STUDENNIKOVA
670 BRYN MAHR LN
ROCKWALL, TX 75087

DAVIS AARON F & AMANDA M
670 MISSION DRIVE
ROCKWALL, TX 75087

HPA TEXAS SUB 2018-1 ML LLC
670 PRINCETON WAY
ROCKWALL, TX 75087

COBB STEPHEN L & MELANIE E
671 BRYN MAHR
ROCKWALL, TX 75087

BYRNES KATHRYN AND
KENNETH BYRNES
671 PRINCETON WAY
ROCKWALL, TX 75087

SCHWERTNER RAY & SHEILA
672 BRYN MAHR LANE
ROCKWALL, TX 75087

CARTER CALVIN DALE AND EMILY KATHRYN
672 PRINCETON WAY
ROCKWALL, TX 75087

STEWART KIMBERLYN & CAROLYN
672 ST JOHNS PLACE
ROCKWALL, TX 75087

GRAVES JAMES GREGORY & ALISHA DIANE
673 BRYN MAHR LN
ROCKWALL, TX 75087

BURKHOLDER DANIEL AND JENNIFER
673 PRINCETON WAY
ROCKWALL, TX 75087

VOTTERI CHRISTOPHER MARK & BONNIE
DARLINDA
674 BRYN MAHR LN
ROCKWALL, TX 75087

FLYNT FAMILY LIVING TRUST
MARK A FLYNT AND JOAN L FLYNT- TRUSTEES
674 PRINCETON WAY
ROCKWALL, TX 75087

CHESMAR HOMES LLC
674 ST JOHNS PLACE
ROCKWALL, TX 75087

TREVINO RAUL & MARIA J
675 BRYN MAHR LANE
ROCKWALL, TX 75087

PERKINS RUSSELL AND LESLIE
675 PRINCETON WAY
ROCKWALL, TX 75087

SMITH STUART C AND MICHELLE
676 BRYN MAHR LN
ROCKWALL, TX 75087

KARRETT JAMES M JR AND RAFFAELA
676 PRINCETON WAY
ROCKWALL, TX 75087

NIELSEN MATTHEW GRIFFITH
676 SAINT JOHNS PL
ROCKWALL, TX 75087

PALMER JAMIE A AND MITCHELL
677 BRYN MAHR LN
ROCKWALL, TX 75087

SOLOMON BRIAN & KELLY
678 BRYN MAHR LANE
ROCKWALL, TX 75087

OGBONNA OBIOMA
678 PRINCETON WAY
ROCKWALL, TX 75087

CHAPMAN LIVIA AND
PATRICK MELTON
678 SAINT JOHNS PLACE
ROCKWALL, TX 75087

HUDSON MATTHEW AND JESSICA
679 PRINCETON WAY
ROCKWALL, TX 75087

BARKER CHARLES W & LISA M
680 BRYN MAHR LANE
ROCKWALL, TX 75087

CORONADO JIMMY AND SHANNA V
681 BRYN MAHR LN
ROCKWALL, TX 75087

COX CHADWICK JEREMY AND ANGELA M
685 GANNON HEIGHTS LANE
ROCKWALL, TX 75087

RIST CHARLES E JR AND AUDREY N
700 MONTEREY DR
ROCKWALL, TX 75087

CASTRO MICHAEL AND RENE
700 WINDSONG LN
ROCKWALL, TX 75087

CROWLEY RICHARD R & LAUREN D
701 CORNELL DRIVE
ROCKWALL, TX 75087

MORTON GEORGE P & DARLENE
701 VALLEJO DR
ROCKWALL, TX 75087

EIZELDIN SAM AND RAZITA
701 WILDWOOD LANE
ROCKWALL, TX 75087

FRANK RYAN ANDREW AND WHITNEY JANE
702 WILDWOOD LANE
ROCKWALL, TX 75087

WILLIAMS HORACE LEE JR
7020 CREEK BEND RD
DALLAS, TX 75252

THOMAS JEFFREY EARL & SUSAN TERRELL
703 CORNELL DRIVE
ROCKWALL, TX 75087

COOPER BRADY & DIANE J
703 MONTEREYDR
ROCKWALL, TX 75087

KIRK DAVID AND KATIE CHEY
705 CORNELL DR
ROCKWALL, TX 75087

DAVIS KRISTOFER & HOLLY LEANNE
705 HIGHLAND DRIVE
ROCKWALL, TX 75087

WORKS PAUL D AND JENNIFER K
706 MONTERREY DR
ROCKWALL, TX 75087

VOORHIES JON AND TERESA
707 CORNELL DR
ROCKWALL, TX 75087

REUSINK JARED AND ASHLEE
707 HIGHLAND DRIVE
ROCKWALL, TX 75087

DAVIS PHYLLIS ELAINE
707 VALLEJO DR
ROCKWALL, TX 75087

VALENTINE DERICK TYRON AND
AMI PATEL
708 MCFARLIN PLACE
ROCKWALL, TX 75087

VATS AKHIL AND DEEPTI
709 CORNELL DR
ROCKWALL, TX 75087

JOHNSON CRAIG A AND THERESA J
709 HIGHLAND DRIVE
ROCKWALL, TX 75087

ADCOCK REVOCABLE LIVING TRUST
MARY LOU ADCOCK TRUSTEE
709 MONTEREY DR
ROCKWALL, TX 75087

DAVIS JAMES NICHOLAS & JANA LADAWN
709 ROSEWOOD LANE
ROCKWALL, TX 75087

DOLAS TAMARA AND DALIBOR
710 BELFORT DR
ROCKWALL, TX 75087

MORRISON BRETT & SUSAN
710 MCFARLIN PLACE
ROCKWALL, TX 75087

DALE MICHAEL & LYNNE
710 ROSEWOOD LANE
ROCKWALL, TX 75087

PROTHRO LANCE G AND DERONDA
711 CORNELL DR
ROCKWALL, TX 75087

NICKLES TAMESHA D & JOE L NICHLES JR
711 HIGHLAND DRIVE
ROCKWALL, TX 75087

VILLARREAL GONZALO FLORES AND EDITH
711 MCFARLIN PL
ROCKWALL, TX 75087

HARRELL JOHN W AND JENNIFER
711 ROSEWOOD LN
ROCKWALL, TX 75087

ANDERSON STEPHEN R & CHRISTINE R
712 BELFORT DRIVE
ROCKWALL, TX 75087

MERCER JEFF L & HEIDI E
712 MCFARLIN PLACE
ROCKWALL, TX 75087

LONGRUN HOLDINGS LLC SERIES C
712 MONTEREY DR
ROCKWALL, TX 75087

LIESVELD ALLAN T
712 ROSEWOOD LN
ROCKWALL, TX 75087

AKHTAR USMAN AND AQSA MAHMOOD
713 CORNELL DR
ROCKWALL, TX 75087

CALHOUN GARY AND TANDRA CALHOUN
713 HIGHLAND DRIVE
ROCKWALL, TX 75087

THOMPSON BENJAMIN
713 MCFARLIN PLACE
ROCKWALL, TX 75087

MORRIS ALBERT & CATHERINE
713 ROSEWOOD LANE
ROCKWALL, TX 75087

REID SHANNON L & JASON J
713 VALLEJO DRIVE
ROCKWALL, TX 75087

2013 ABBONDANDOLO FAMILY TRUST
714 BELFORD DR
ROCKWALL, TX 75087

GAISER NICOLE
714 MCFARLIN PLACE
ROCKWALL, TX 75087

TRAN KELLY H
715 CORNELL DR
ROCKWALL, TX 75087

TAYLOR MICHAEL PAUL & JACQUELINE
715 MCFARLIN PL
ROCKWALL, TX 75087

WEINBERG ARI & TARA
715 MONTEREY DRIVE
ROCKWALL, TX 75087

MAPEL JOHN J
715 ROSEWOOD LN
ROCKWALL, TX 75087

ROSENBERGER PERRY D & MARY LEHRMANN
715 WILDWOOD LANE
ROCKWALL, TX 75087

RENEE BETTE REVOCABLE TRUST
RENEE BETTE WORKINGS AS TRUSTEE
716 BELFORD DRIVE
ROCKWALL, TX 75087

FUHLER JOZEF AND MARGARET
716 MCFARLIN PL
ROCKWALL, TX 75087

HIGHFILL NANCY JOLENE
717 BELFORD DRIVE
ROCKWALL, TX 75087

RILEY JOHN ALEXANDER & CAROLYN DIXON
717 MCFARLIN PLACE
ROCKWALL, TX 75087

WELCH MATTHEW D AND TARA W
718 BELFORD DR
ROCKWALL, TX 75087

NYGHT BRADFORD AND DANIELLE
718 MONTEREY DRIVE
ROCKWALL, TX 75087

SANDERSON SCOTT FREDERICK AND CELESTIAL
DAWN
718 WILDWOOD LANE
ROCKWALL, TX 75087

FOLK JERRY A AND RHONDA G
719 BELFORD DR
ROCKWALL, TX 75087

RENDON MARSHALL SR & VIRGINIA
719 FAIRFAX LN
ROCKWALL, TX 75087

ALBA JOHN ARTHUR AND TRICIA
719 MCFARLIN PL
ROCKWALL, TX 75087

SHANNONHOUSE VALERIE RENEE AND JORDAN
THOMAS SHANNONHOUSE
719 VALLEJO DR
ROCKWALL, TX 75087

COLEMAN DANIEL G AND MARIA
720 BELFORD DR
ROCKWALL, TX 75087

DUNCAN DESTINY R AND ROHAN D
721 BELFORD DR
ROCKWALL, TX 75087

BUENO RICKEY AND CHRISTIE
721 FAIRFAX LN
ROCKWALL, TX 75087

STOCKING MARLON S & CHONG J
721 MONTEREY DR
ROCKWALL, TX 75087

PHILIP ROSHAN SIM AND JISSY RACHEL
722 BELFORD DR
ROCKWALL, TX 75087

HUMPHREY JEFF H AND SHANNA A
723 BELFORD DR
ROCKWALL, TX 75087

PENNINGTON GRANT MARTIN & EDITH A
723 FAIRFAX LANE
ROCKWALL, TX 75087

BAILEY LESLIE ANN AND SHAWN A
724 FAIRFAX LN
ROCKWALL, TX 75087

BURRESS RACHEL E AND ERIC N
724 MONTEREY DRIVE
ROCKWALL, TX 75087

NASH JARED AND HOLLI
725 FAIRFAX LN
ROCKWALL, TX 75087

CORLETTO GABRIELA &
CARSON EDWARD BROOKS
725 VALLEJO DR
ROCKWALL, TX 75087

HPA JV TEXAS SUBSIDIARY 2019-1 ML LLC
727 FAIRFAXLN
ROCKWALL, TX 75087

FROHMADER RICARDO AND SHELBY HEBERT
727 MONTEREY DR
ROCKWALL, TX 75087

COLLINS LINDA B
728 FAIRFAX LN
ROCKWALL, TX 75087

LANDRY CHARLES R & TRACEY L
729 FAIRFAX LANE
ROCKWALL, TX 75087

CORCORAN CYNTHIA L
730 FAIRFAX LN
ROCKWALL, TX 75087

ZUVER KENNETH R & MARSHA
730 MONTEREY DR
ROCKWALL, TX 75087

CHESMAR HOMES DFW LTD
731 FAIRFAXLN
ROCKWALL, TX 75087

GARCIA RUDOLPH L & ALMA C
731 VALLEJO DR
ROCKWALL, TX 75087

CHESMAR HOMES LLC
731 WILDWOOD LN
ROCKWALL, TX 75087

CHESMAR HOMES LLC
732 FAIRFAX LN
ROCKWALL, TX 75087

ALVARADO JOSE & ROXANA
733 MONTEREY DR
ROCKWALL, TX 75087

FIRST TEXAS HOMES INC
734 FAIRFAX LN
ROCKWALL, TX 75087

FLITCRAFT CHRISTOPHER BERNARD AND NANCY
MARGO
734 WILDWOOD LANE
ROCKWALL, TX 75087

CHESMAR HOMES LLC
735 FAIRFAX LN
ROCKWALL, TX 75087

SIMMONS INVESTMENTS LLC
736 MONTEREYDR
ROCKWALL, TX 75087

PATTERSON RONYA R & MARY W
737 VALLEJO DR
ROCKWALL, TX 75087

BLACKNALL SHARITA & ANTHONY
739 MONTEREY DR
ROCKWALL, TX 75087

MATTHEWS SAMUEL JERRY LIFE ESTATE
SARAH J MATTHEWS
742 MONTEREY DRIVE
ROCKWALL, TX 75087

CHASE MICHAEL B & TIFFANY CHASE
743 VALLEJO DR
ROCKWALL, TX 75087

HENDRICKSON PAUL A AND PATRICIA A
747 WILDWOOD LANE
ROCKWALL, TX 75087

ESTRADA ALVIO R AND JANIS P
748 MONTEREY DR
ROCKWALL, TX 75087

COOPER BRADY & DIANE J
749 VALLEJO DR
ROCKWALL, TX 75087

COOPER BRADY E & DIANE J
749 VALLEJO DR
ROCKWALL, TX 75087

DODSON HUA
751 MONTEREY DR
ROCKWALL, TX 75087

MCDONALD JR EDWARD & KAYLA
752 WILDWOOD LN
ROCKWALL, TX 75087

BUCHANAN DONALD BLAKE AND CHRISTINA
MARIE
754 MONTEREY DRIVE
ROCKWALL, TX 75087

ALSROUJI ALAA AND DOAA ALSROUJI
755 VALLEJO DR
ROCKWALL, TX 75087

CRAWFORD KIMBERLY K & HAROLD E JR
763 WILDWOODLN
ROCKWALL, TX 75087

OLDEN FREDERICK EINER AND LISA HALSTEAD
768 WILDWOODLN
ROCKWALL, TX 75087

MATTINGLY MICHAEL ANTHONY AND EMILY P
779 WILDWOOD LANE
ROCKWALL, TX 75087

MASON MARK S & TAMARA M
802 POTOMAC DRIVE
ROCKWALL, TX 75087

FOURTE DARRYL E AND WYVONIA
805 HIGHLAND DR
ROCKWALL, TX 75087

JOHNSON CHAD RYAN
807 HIGHLAND DR
ROCKWALL, TX 75087

BAKER JEFFREY SCOTT AND JENNIFER D
809 HIGHLAND DR
ROCKWALL, TX 75087

CAIN JAMES O
815 N ALAMO RD
ROCKWALL, TX 75087

SIMMONS INVESTMENTS LLC
8172 CHURCH STEEPLE ST
LAS VEGAS, NV 89131

STEPHEN PRAMELA AND STEPHEN JOHN
818 POTOMAC DR
ROCKWALL, TX 75087

CULLINANE JOHN AND BRENNIA
834 POTOMAC DRIVE
ROCKWALL, TX 75087

MCCULLEY DARREN WAYNE AND MICHELE
837 POTOMAC DRIVE
ROCKWALL, TX 75087

KUNJACHEN BLESSY AND SHIBU
852 POTOMAC DRIVE
ROCKWALL, TX 75087

MILLER CAROLYN FAYE AND ROBERT FRANKLIN
III
853 POTOMAC DRIVE
ROCKWALL, TX 75087

HENRY MATTHEW C
8530 FOREST HILLS BLVD
DALLAS, TX 75218

PALMER WINDY E AND DONALD L
868 POTOMAC DRIVE
ROCKWALL, TX 75087

HURLEY C I
901 N ALAMO ROAD
ROCKWALL, TX 75087

EAGLE SEIKI SALES LTD
C/O ELIZABETH BURKS
902 PALO PINTO ST
WEATHERFORD, TX 76086

MOMSEN KIMBERLY
903 N ALAMO ROAD
ROCKWALL, TX 75087

HAM JOSHUA L
905 N ALAMO ST
ROCKWALL, TX 75087

WILLIAMS ALEX RAY &
PATRICIA L WILLIAMS WILKERSON
905 N GOLIAD
ROCKWALL, TX 75087

PEOPLES DOSVILLE
905 N WEST ST
ROCKWALL, TX 75087

WILLIAMS ALEX RAY &
PATRICIA L WILLIAMS WILKERSON
906 N ALAMO RD
ROCKWALL, TX 75087

BRIONES RONALD AND THERESA
906 N WEST
ROCKWALL, TX 75087

JC GAERLAN LLC
907 NORTH ALAMO ROAD
ROCKWALL, TX 75087

DOUBLE T VENTURES LLC
907 N GOLIAD ST
ROCKWALL, TX 75087

PIERCE CAROLYN GREEN
908 N ALAMO RD
ROCKWALL, TX 75087

MARTINKUS NICOLE
908 N WEST ST
ROCKWALL, TX 75087

DICKINSON SHARON
909 N ALAMO ROAD
ROCKWALL, TX 75087

MCFADIN SARA TERESA
909 N WEST STREET
ROCKWALL, TX 75087

DOUBLE T VENTURES LLC
909 N GOLIAD
ROCKWALL, TX 75087

ZAVALA VICTOR V
910 N ALAMO RD
ROCKWALL, TX 75087

PERRY RUBY DELL
910 N WEST ST
ROCKWALL, TX 75087

WHITE TIMOTHY E
9104 PRIVATE ROAD 2325
TERRELL, TX 75160

LEWIS BEN
911 N ALAMO
ROCKWALL, TX 75087

RECSA LLC
911 NORTH GOLIAD
ROCKWALL, TX 75087

JONES PAMELA J
912 N ALAMO RD
ROCKWALL, TX 75087

WHITE TIMOTHY E
913 N ALAMO RD
ROCKWALL, TX 75087

BAXTER JAKE STEPHEN AND CATHERINE
ELIZABETH
915 N ALAMO RD
ROCKWALL, TX 75087

ADAMS JAMES & DEBBIE
915 N GOLIAD
ROCKWALL, TX 75087

BARNETT JOSEPH RODNEY & LADONNA
917 N ALAMO
ROCKWALL, TX 75087

917 PROPERTIES LLC
917 N GOLIAD
ROCKWALL, TX 75087

VANILLA BEAN PROPERTIES, SERIES 5 LLC
918 N ALAMO
ROCKWALL, TX 75087

FARMER BARBARA A
919 N ALAMO RD
ROCKWALL, TX 75087

VANDERSLICE R D AND LYNN
919 N GOLIAD
ROCKWALL, TX 75087

BELANGER CORKY AND ALFRED
921 NORTH ALAMO ROAD
ROCKWALL, TX 75087

BARRY BARBARA
922 N ALAMO RD
ROCKWALL, TX 75087

HUDSON SHELI O
923 N ALAMO
ROCKWALL, TX 75087

CHAVEZ ENRIQUE
923 N GOLIAD ST
ROCKWALL, TX 75087

MONK MARCELLE A LAZARE & PAUL
924 N ALAMO RD
ROCKWALL, TX 75087

CRAWFORD JUANITA LIFE ESTATE AND
MICHAEL CRAWFORD
925 N ALAMO
ROCKWALL, TX 75087

CFPC INVESTMENTS LLC
925 N GOLIAD
ROCKWALL, TX 75087

TURNER JASON C AND SUSAN L LIDE
933 GANNON HEIGHTS
ROCKWALL, TX 75087

EISAMAN KELLY J
971 GANNON HEIGHTS LANE
ROCKWALL, TX 75087

CRAWFORD MICHAEL & MARY
975 N ALAMO RD
ROCKWALL, TX 75087

AMERICAN RESIDENTIAL LEASING COMPANY LLC
ATTN: PROPERTY TAX DEPARTMENT 30601
AGOURA ROAD, SUITE 200PT
AGOURA HILLS, CA 91301

STANFORD DRIVE 1252 LAND TRUST
KATHRYN BALL TRUSTEE
P O BOX 1088
ROCKWALL, TX 75087

SAMPLE CRAIG ALLEN AND MISTY MICHELLE
P. O. BOX 2094
ROCKWALL, TX 75087

BODIN CHARLOTTE WILSON
P. O. BOX 109
ROWLETT, TX 75030

CRAWFORD KIMBERLY K & HAROLD E JR
PO BOX 1651
ROCKWALL, TX 75087

CFPC INVESTMENTS LLC
PO BOX 1731
MARBLE FALLS, TX 78654

PHILLIPS HUBERT SYVELLE & LOVIE E REV LIV TR
LOVIE E PHILLIPS TRUSTEE
PO BOX 627
ROCKWALL, TX 75087

OLDEN FREDERICK EINER AND LISA HALSTEAD
PO BOX 671288
DALLAS, TX 75367

PARAMOUNT LAURELS LLC
PO BOX 786
WYLIE, TX 75098

TRAN KELLY H
PO BOX 894578
MILILANI, HI 76789

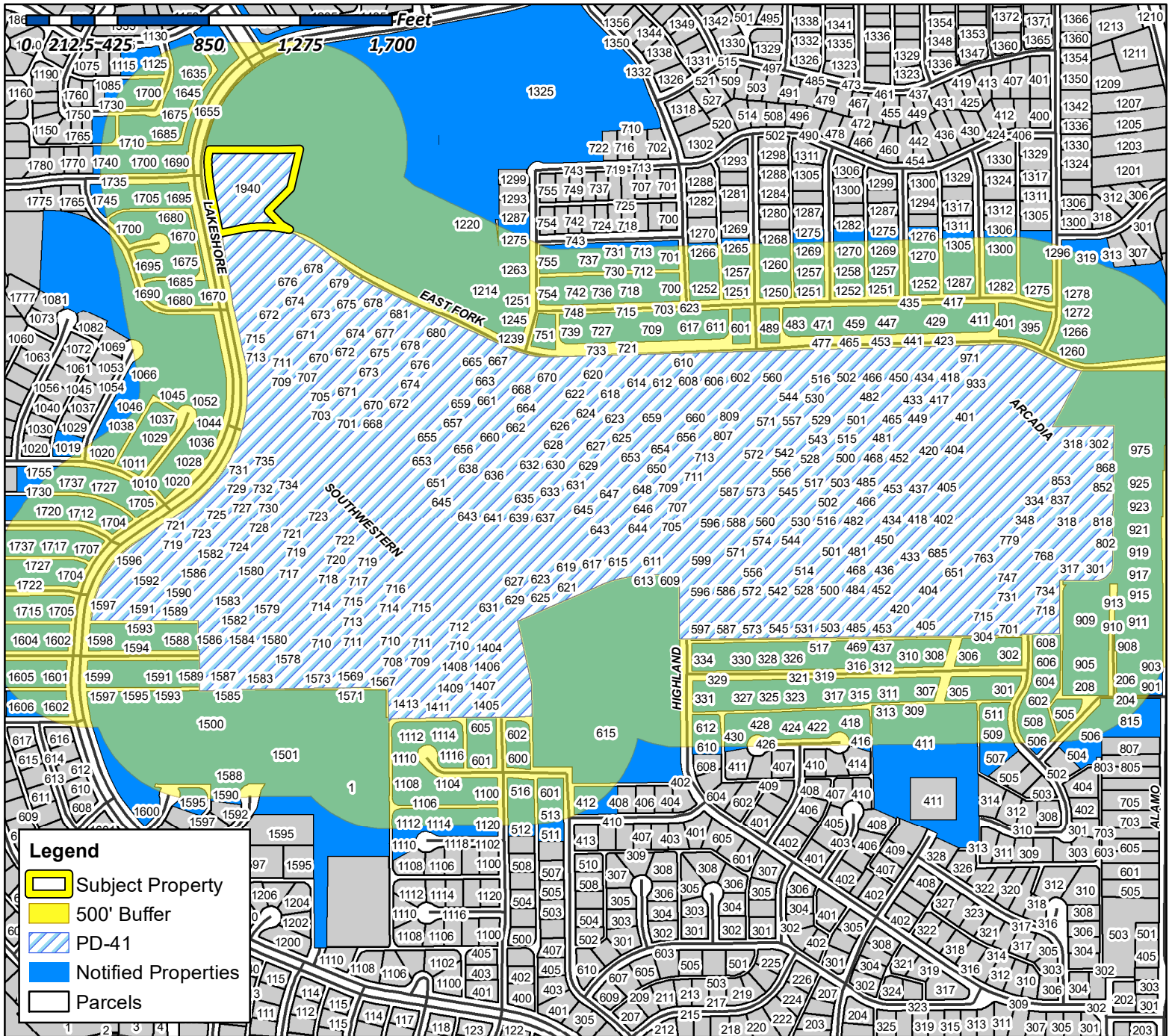
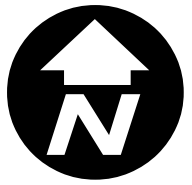
DELLINGER TRUST
MARVIN L DELLINGER AND ELAINE S DELLINGER
CO-TRUSTEES
PO BOX 906
SOLANA BEACH, CA 92075



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

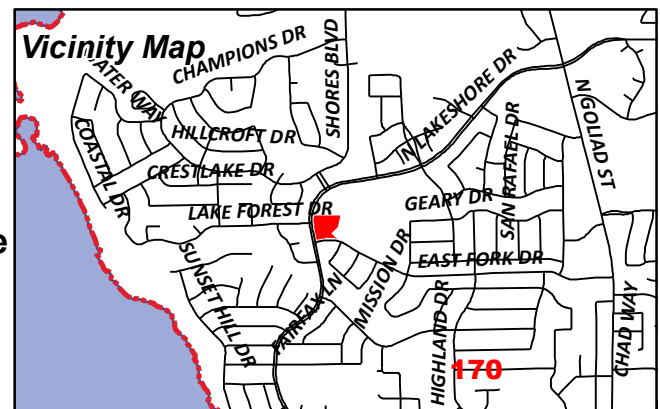
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-057
Case Name: Zoning Change from PD-41 & SF-10 to PD-41
Case Type: Zoning
Zoning: PD-41 & SF-10
Case Address: NEC of E. Fork Drive and N. Lakeshore Drive

Date Created: 12/19/2020

For Questions on this Case Call (972) 771-7745



PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Hold a public hearing to discuss and consider a request by Doug Galloway of Viaduct Development on behalf of GotRocks Properties, LLC for the approval of a Zoning Change superseding Specific Use Permit No. 57 (S-57; Ordinance No. 08-39) and changing the zoning from a Single-Family 10 (SF-10) District to Planned Development District 41 (PD-41) for General Retail (GR) District land uses on a 2.96-acre parcel of land identified as Lot 1, Block A North Lake Shore Daycare Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 41 (PD-41) for Park/Greenbelt land uses and Single-Family 10 (SF-10) District, addressed as 1940 N. Lakeshore Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 12, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Redacted area]

Name: [Redacted]
Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

WE NEED REVENUE DOWNTOWN NOT
PARKS.
IT WILL CREATE A TRAFFIC HAZARD

Name:

Al Estrada

Address:



Alvio Estrada
748 Monterey Dr
Rockwall, TX 75087-6639

Tex. Loc. Gov. C
order to take effect
percent of either
change and exte

oundary is protested in accordance with this subsection, the proposed change must receive, in
of the governing body. The protest must be written and signed by the owners of at least 20
; or (2) the area of the lots or land immediately adjoining the area covered by the proposed

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Adding Retail in the middle of Single Family Homes will "hurt" - "lower" the value of Homes around + surrounding areas.

Note: City should buy the land & make it a "Park"

Name: *Debra & Gary FREEDMAN*

Address: *1404 Willow Lane*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

I do not want more businesses or anything other than single family development within the established single family developed areas of our city.

Name: Janelle Steinberg

Address: 318 Shepards Hill Dr, Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Privacy, Disruption to Neighborhood, Damage to Lakeshore ect... Traffic increase loss of

Loss of trees, This area Residential not Commercial want to keep Residential Zone No benefit to homeowners

Name: John Hudgins

Address: 1020 Hillcrest Circle, Rockwall 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

There is no benefit to the surrounding neighbors. We enjoyed a neighborhood strictly residential until the day care center was allowed. Lakeshore Dr has become heavily trafficked with the addition of D.R. Horton homes & expansion of preserves. Residents in north Rockwall use Lakeshore in lieu of Solid. It's become difficult to cross in peak hours. Retail space would bring even more non-neighborhood traffic & people here. Loss of more trees, loss of privacy to home owners.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Signed: Marilyn Autrey, 1118 Vail Ct. 75087

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

WE DO NOT NEED RETAIL AND/OR OFFICE USES IN AN AREA THAT IS 99% RESIDENTIAL (SINGLE FAMILY RESIDENTIAL). I AM STRONGLY AGAINST THIS ZONING CHANGE.

Name: MARK FLYNT

Address: 674 PRINCETON WAY, ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Do not want apartments in my neighborhood or the traffic and congestion they would bring.

Name:

Peggy Greenlee

Address:

308 Shepards Hill Drive 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CITY OF ROCKWALL • PLANNING AND ZONING DEPARTMENT • 385 S. GOLIAD STREET • ROCKWALL, TEXAS 75087 • P: (972) 771-7745 • E: PLANNING@ROCKWALL.COM

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

No! NO MORE STRIP SHOPPING / RETAIL
IN ROCKWALL. - SICK OF LOOKING @ THAT
TYPE BLDG.

Name:

JOSHUA HAM

Address:

512 HIGHVIEW LN. ROCKWALL, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

We do not need another strip shopping center.

Name:

M. Don & Kelly Ham

Address:

512 Highview Lane Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below. *and our area has already too much traffic to be safe.*

Lake Shore Drive goes right by my home at 1680 Park View Dr. and the traffic is bad, but it has become a steady stream of racing cars at rush hours in the morning and afternoon as people going to and from work use Lake Shore as a shortcut to 205 and Quail Run and speed limits are

Name: *James M. Catlett & Patricia A. Catlett*

Address: *1680 Park View Dr. 75087*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

not observed and infrequently enforced. Therefore the increase in the number of speeding vehicles and the danger of trying to get on Lake Shore is increasing to the max and more commercial building will only

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CITY OF ROCKWALL • PLANNING AND ZONING DEPARTMENT • 385 S. GOLIAD STREET • ROCKWALL, TEXAS 75087 • P: (972) 771-7745 • E: PLANNING@ROCKWALL.COM

make that worse. It is hazardous to try to get on this street already. Please don't make it worse. We moved here sixteen years ago to live in a quieter neighborhood, but it has now become too busy.

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Near our residential neighborhood, we don't need more:
- commercial development (e.g. strip shopping, apartments)
- traffic (e.g. noise, congestion, safety of two elementary school children)
Why remove SF-10 from the whole Preserve? What is hidden agenda?

Name: John Mark and Barbara Young

Address: 1100 Aspen Ct., Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

East Fork is a four lane road that reduces to two lanes when it intersects Goliad. Additional retail on Lakeshore Drive will increase traffic on East Fork. The remedy for this would be a traffic light at the Goliad intersection and completion of the East Fork four lane expansion to Goliad.

se
+

Ad: **Tony Acuna Jr.**

Tex 1264 Stanford Drive, Rockwall, TX 75087

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change and extending 200 feet from that area.

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PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name:

Charlotte D. Pelander

Address:

511 Wildwood Ln. Rockwall, TX. 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-057: Zoning Change from SF-10 to PD-41

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Negative impact on property values for properties adjacent to or in the vicinity of subject property

Name: *Kimberly B + Carolyn M. Stewart*

Address: *672 St Johns Pl Rockwall 75087-6016*

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-057: Zoning Change from SF-10 to PD-41**Please place a check mark on the appropriate line below:** I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below.

- ① Increased traffic on an already congested cross street (Lakeshore / East Fork)
- ② Property value erosion - any office over 1 story is an eyesore in this residential area
- ③ Safety - more activity/cars in parking lot is a ^{potential} danger to daycare ~~attendance~~ ^{children}

Name:

Susan Thomas

Address:

703 Cornell Drive, Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Miller, Ryan

From: [REDACTED]
Sent: Monday, December 28, 2020 5:26 PM
To: Planning
Subject: Case No Z2020-057: Zoning Change from SF-10 tp PD-41

Michelle Bastidas & Mark Repman - home owners @ 1715 BayHill Drive Rockwall Texas

Both vote NO. We are opposed to the zoning change.

Reason: We do not support this zoning change as we do not want any more retail establishments encroaching on our neighborhood.

Thank you,

Michel & Mark

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Miller, Ryan

From: peg@pegpannellsmith.com
Sent: Sunday, January 3, 2021 3:34 PM
To: Planning
Subject: Z2020-057 Zoning Change from SF-10 to PD-41 - 1940 N Lakeshore Dr - Comments

Please consider this email my official response to the above zoning change matter...

Peg Pannell Smith
1102 Aspen Court
Rockwall TX 75087

I personally do not have an objection to this **IF** AT&T would be required to add an additional cell phone tower in this area.

Multitudes of us along Lakeshore area must use a Microcell to get phone service. AT&T performed a survey of all the microcells in this area with red dots for each microcell... looked like the measles on paper.

My home is positioned in between the two existing cell phone towers just far enough away to not obtain coverage from either one of them. I was told when more development comes to justify a third, they would do so.

And, now, I hear microcell's are no longer being installed so when they go out, we won't have any phone service. When the microcell goes out temporarily, nothing works. As it is, when workmen and guests arrive at my house, they cannot get a signal. Everyone has to walk outside and get away from my house. I had better coverage living in Old Town in a nearly 100 year old house than the Pinnacle subdivision.

With new development, I am hopeful this could be rectified because those new businesses would need cell phone service and may just be lying in the same no-cell zone crack as me.

I believe it's worth looking into and the developer certainly needs to know.
Thanks.

[TEXAS LAW REQUIRES ALL LICENSE HOLDERS TO PROVIDE THE INFORMATION ABOUT BROKERAGE SERVICES FORM TO PROSPECTIVE CLIENTS](#)

*Best regards,
Peg*

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[PEGPANNELLSMITH GROUP](#)

COMMERCIAL REAL ESTATE SALES & LEASING

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peg@pegannellsmith.com | pegannellsmith.com

CELL 972.489.0788 OFC 972.772.1579 FAX 972.771.7493



COMMERCIAL TO THE CORE

NRT

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"The sender believes that this E-mail and any attachments were free of any virus, worm, Trojan horse, and/or malicious code when sent. This message and its attachments could have been infected during transmission. By reading the message and opening any attachments, the recipient accepts full responsibility for taking protective and remedial action about viruses and other defects. The sender's company is not liable for any loss or damage arising in any way from this message or its attachments."

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Miller, Ryan

From: kimlex woodul <kimlexbills@gmail.com>
Sent: Thursday, January 7, 2021 11:35 AM
To: Miller, Ryan
Subject: Ref zoning number Z2020-057 and P2020-052.

Follow Up Flag: FollowUp
Flag Status: Flagged

Hi Ryan -

On behalf of my friends and neighbors in The Shores, I would like to voice my opinion on the planning & zoning change that is perhaps underway in area. We strongly feel that this should be left as a green space. Other than Squabble Creek (which is frequently washed out from drainage from over development in this area already), this is literally the ONLY green space on all of Lakeshore Drive.

Rockwall a BEAUTIFUL Lakeside community - and we are destroying its beauty popping up developments in every square inch of the town. There has to be some margin remaining to keep its natural beauty.

We absolutely do not need another office building, medical building. At the corner of Goliad and Lakeshore - there are vacant buildings in place there without tenants already. Please consider this when discussing at the P&Z meeting coming up 1/12.

Thank you,

Kim & Lex Woodul

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Miller, Ryan

From: Shawn Menefee <scmenefee@outlook.com>
Sent: Thursday, January 7, 2021 8:34 AM
To: Miller, Ryan
Subject: Zoning number Z2020-057 and P2020-052

Follow Up Flag: Follow up
Flag Status: Flagged

Ryan,

I would like to express concerns for the proposed zoning changes on N Lakeshore Drive (Zoning number Z2020-057 and P2020-052).

As a newer resident to Rockwall, I'm excited to see economic progress and businesses expanding in our local community. However, in this situation, I call the appropriateness of the location in question. Besides the aesthetic reasons and loss of greenbelt land, my concern is with the additional traffic that will be generated in a clearly "residential" area.

I reside at 1970 Lake Forest and obviously frequent the intersection of Lakeshore / Lake Forest several times a day. The addition of the Day Care center has brought additional traffic and challenges navigating that intersection. Adding additional retail/commercial traffic will further compound this.

I will be unable to attend the January 12th meeting. Please take these concerns into consideration.

Sincerely,

Shawn Menefee
1970 Lake Forest
Rockwall, TX 75087
316-208-6725

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Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-057

Please place a check mark on the appropriate line below: *

I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

Build business in downtown Rockwall vs in a residential neighborhood!!!

Respondent Information

Please provide your information.

First Name *

Steve

Last Name *

Swinford

Address *

2040 Lake Forest Drive

City *

Rockwall

State *

TX

Zip Code *

75087-3346

Email Address *

swinfordfam3@yahoo.com

Phone Number

214-673-9325

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: HOA email

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Google Forms

1675 LAKE BROOK CIRCLE (HILLCREST SHORE, PH 3) - WITHIN THE NOTIFICATION AREA OF PD-41

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-057

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

We do not agree with making that corner into business friendly. We would like to keep it trees or even just for families. There is businesses not even a mile down each direction. We can travel a little more for whatever is gonna be put there.

Respondent Information

Please provide your information.

First Name *

Meghan

Last Name *

Harris

Address *

1675 lake brook circle

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

msmeghan@aol.com

Phone Number

214-906-2477

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-057

Please place a check mark on the appropriate line below: *

I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

We do not want medical offices and or retail offices built near our entrance/home and or in our proximity. The day care was a shock and we were told when we bought our home it would be homes, not a commercial area. We do not want more traffic and especially in front of our entrance. Not only will these offices and or buildings look out of place, but we feel it will devalue/depreciate our home we have lived in for over 15 years (if not presently then in the future). Completely against this decision to build yet another eyesore and destroy our beautiful neighborhood. We enjoy the scenery we have from our home and do not want to see a building from our front lawn. Also, enjoy the nice and quite neighborhood we have and do not want to hear additional noise and traffic that this would create. We have a mini hospital less than 1 mile away from our home and do not need whatever is proposed in front of our entrance. Completely against.

Respondent Information

Please provide your information.

First Name *

Harry and Jeri

Last Name *

Uland

Address *

1740 Lake Forest Drive

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

hjuland@sbcglobal.net

Phone Number

469-698-0777

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

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Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-057

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

There is no need for more businesses in this residential neighborhood. The addition of businesses will pose a threat to our property value, as well as the safety of our children who walk to and from school past this property in question. The significant increase in traffic on this road over the past few years with the addition of homes north of this area in rockwall, as well as the disregard for the speed limit on Lakeshore Dr is of concern to those of us who live along this street. There are plenty of other locations in rockwall that can be developed for something other than SF residencies including multiple properties along 205 that are for sale or lease.

Respondent Information

Please provide your information.

First Name *

Amy

Last Name *

Kollehner

Address *

1670 Lake Brook Cir

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

amykollehner@gmail.com

Phone Number

832-454-2404

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

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- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other: _____

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Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-057

Please place a check mark on the appropriate line below: *

I am in favor of the request.

I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

We do not want any more traffic near our development or grade school since children do walk to and from school.

Respondent Information

Please provide your information.

First Name *

Andrea

Last Name *

Andes Spilsbury

Address *

1170 Waterwood Circle

City *

Rockwall

State *

TX

Zip Code *

75087

Email Address *

andrea.andes@gmail.com

Phone Number

310-704-5095

Please check all that apply: *

- I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- Other:

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- I received a property owner notification in the mail.
- I read about the request on the City's website.
- I saw a zoning sign on the property.
- I read about the request in the Rockwall Herald Banner.
- My neighbors told me about the request.
- Other:

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Google Forms

From: Roshan Philip <roshan.drmc@gmail.com>
Sent: Monday, January 11, 2021 8:34 AM
To: Planning
Subject: Comments on Case No Z2020-057: Zoning Change from SF-10 to PD-41

Hi,

My name is Roshan Philip, property owner (along with my wife Jissy R Philip) of 722 Belfort Dr, Rockwall, TX 75087. Re: the subject line above, I am opposed to the request to change this single family district to a planned development district for general retail. Looking at the infrastructure data, the density of population currently within this zone and the proximity of schools in the zone; the infrastructure does NOT exist to support a retail expansion. Furthermore, as a resident who moved to Rockwall 5 years ago, the objective was to raise a family in an environment that is free from the hustle and bustle that is commonplace when living close/in a retail environment. Please consider this request to NOT approve the zoning change. Thank You.

--

Best Regards
Roshan

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1.5.21

City of Rockwall
Planning & Development

Zoning Application Z2020-057 - 1st Comment Response Letter

Lakeshore Office Building

Mr Miller,

In response to the comments received on 12.22.20 please find the attached updated site plan, as well as exhibit outlining our project in further detail. We are under contract to develop this site for Dr Eva, who currently offices on 205 just north of downtown Rockwall. The second lot (adjoining building) sole use will be an office or medical office building.

As we outlined previously, when we purchased the property there were two platted lots, one for the daycare with a SUP in place in PD-41, the other was R-12 outside of PD-41, which we graded and created the pad sites.

We have also agreed to limit the ordinance language to the uses Ive outlined in this letter, office and medical office.

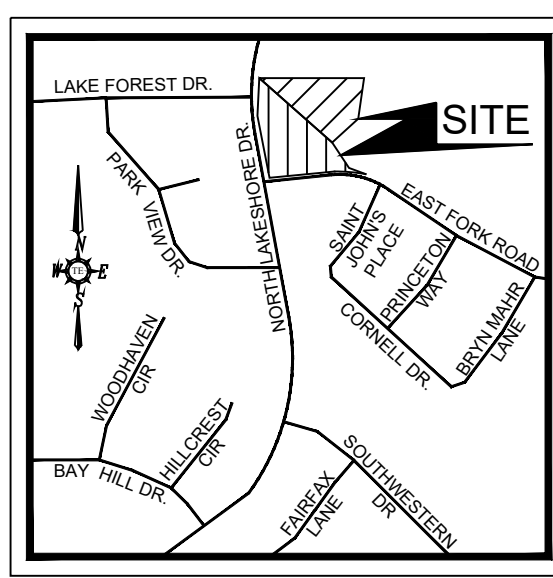
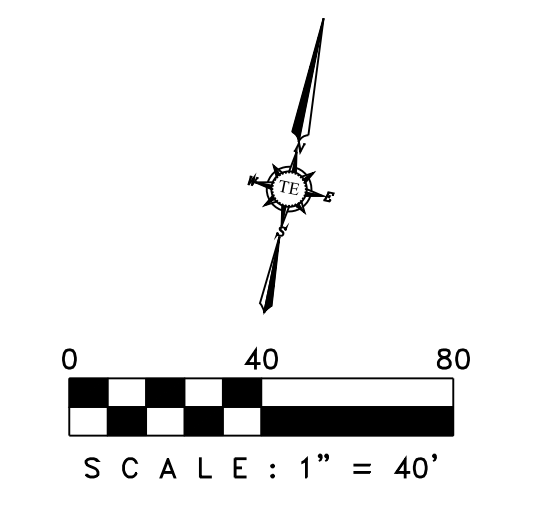
Lastly, as part of the comments provided we have updated our parking calculations conforming to office and medical use, as such we will be creating a shared parking agreement for 3 parking spaces and will be submitting that with out plat re-submittal.

Sincerely,

A handwritten signature in black ink, appearing to read "Doug Galloway".

Doug Galloway
Managing Partner
doug@viaductdev.com
512.698.9494





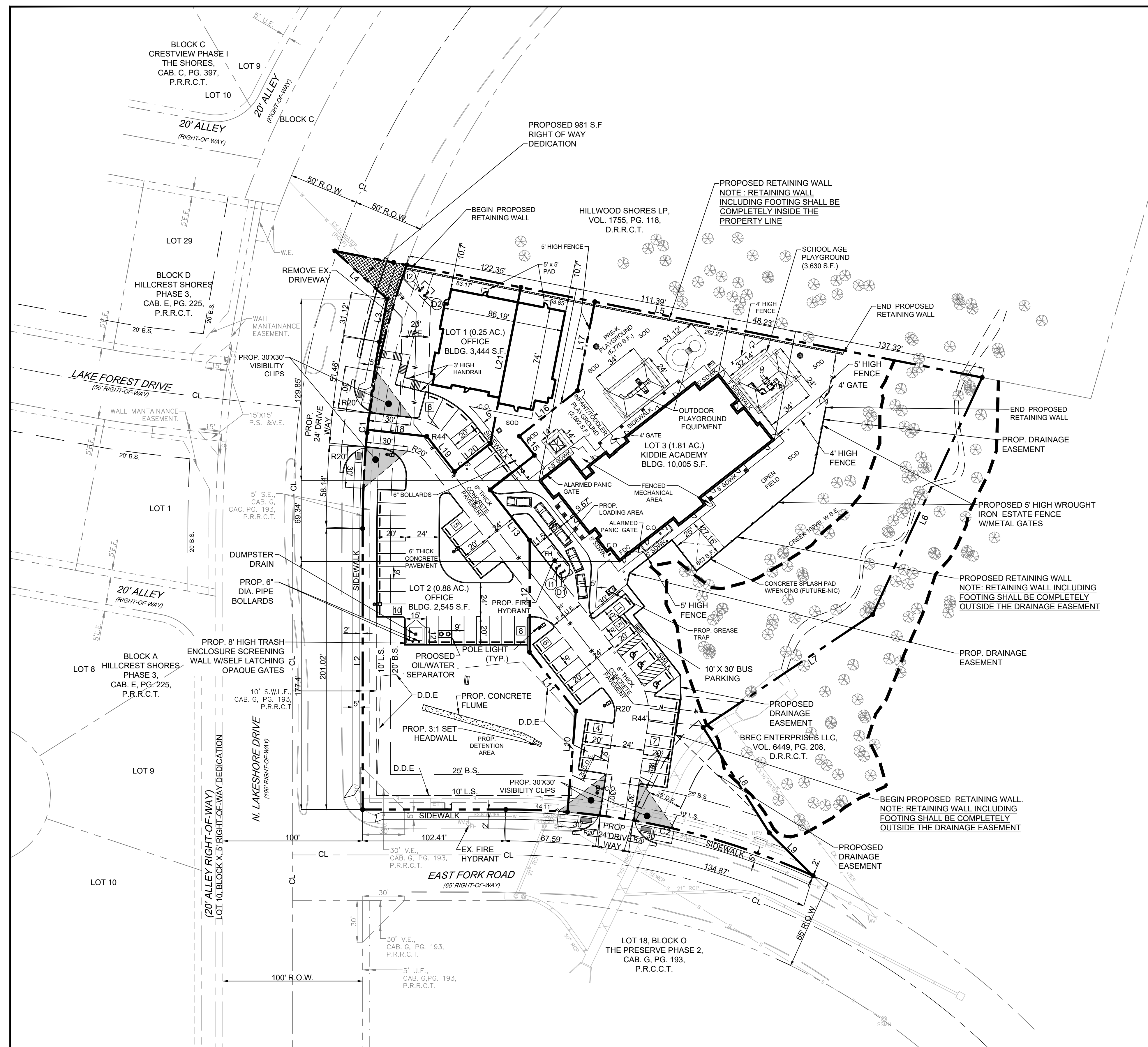
LEGEND	
UTILITY EASEMENT	U.E.
SANITARY SEWER EASEMENT	S.S.E.
DETENTION & DRAINAGE EASEMENT	D.D.E.
WATERLINE EASEMENT	W.E.
VISIBILITY EASEMENT	V.E.
SIDEWALK EASEMENT	S.E.
ELECTRICAL EASEMENT	E.E.
CLEAN OUT	C.O.
GAS METER	G.M.
ELECTRICAL VAULT	EV
LIGHT POLE	LP
TRAFFIC SIGN	TS
ELECTRICAL TRANSFORMER	ET
FIRE HYDRANT	FH
SANITARY SEWER MANHOLE	SSMH
STORM SEWER MANHOLE	SSMMH
BUILDING SET BACK	B.S.
LANDSCAPE BUFFER	L.B.
PRESSURE REDUCING VALVE	PRV
FIRE DEPARTMENT CONNECTION	F.D.C.
SCREENING WALL & LANDSCAPE EASEMENT	S.W.L.E.
BARRIER FREE RAMP	BFR
VISIBILITY EASEMENT	V.E.
VISIBILITY CLIP	

LEGEND	
	PROPERTY LINE
	EXISTING WATER LANE
	PROPOSED WATER LINE
	EX. SANITARY SEWER LINE
	PROP. SANITARY SEWER LINE
	PROPOSED STORM SEWER
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE CONNECTION
	PROPOSED WATER METERS
	PROPOSED BACK FLOW PREVENTER
	P.S.&V.E. PEDESTRIAN SIGN & VISIBILITY EASEMENT
	U.E. UTILITY EASEMENT
	W.E. WATER EASEMENT
	S.S.E. SANITARY SEWER EASEMENT
	D.D.E. DRAINAGE EASEMENT
	F.A.W.E. FIRE LANE, PUBLIC ACCESS & WATER EASEMENT
	V.E. VISIBILITY EASEMENT
	PROPOSED FIRE LANE
	B.S. FRONT SET BACK
	L.S. LANDSCAPE SET BACK
	BARRIER FREE RAMP
	EXISTING STORM SEWER
	EXISTING PAVEMENT/CURB
	EXISTING SEWER MANHOLE
	PROPOSED HANDICAP PARKING SPACE
	EXISTING POWER POLE
	EXISTING STORM INLETS
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED BOLLARDS
	PROPOSED CAR STACKING
	PROP. 6' HIGH WROUGHT IRON FENCE
	EXISTING TREE
	TRANSFORMER
	F.A.U.E. FIRE LANE, PUBLIC ACCESS & UTILITY EASEMENT
	GREASE TRAP
	SAMPLING WELL
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	MONUMENT/POLE SIGN
	PROPOSED WHEEL STOP
	PROPOSED HANDICAP SIGN

SITE DATA SUMMARY TABLE	
PHYSICAL ADDRESS	TO BE DETERMINED
GROSS SITE AREA	2.960 ACRES (128,943 S.F.)
R.O.W. DEDICATION	0.023 ACRES (981 S.F.)
NET AREA	2.937 ACRES (127,962 S.F.)
LOT 1	0.25 ACRES (10,842 S.F.)
LOT 2	0.88 ACRES (38,268 S.F.)
LOT 3	1.81 ACRES (78,852 S.F.)
ZONING	PD-41
CURRENT USE	VACANT
PROPOSED USE	DAYCARE
LOT COVERAGE DATA	
LOT 1 - OFFICE COVERAGE	3,444 S.F. (2.67%)
LOT 2 - OFFICE COVERAGE	2,545 S.F. (1.97%)
LOT 3 - DAYCARE COVERAGE	10,005 S.F. (7.75%)
TOTAL BLDG AREA	15,994 S.F. (12.40%)
IMPERVIOUS COVERAGE	49,465 S.F. (38.65%)
PERVIOUS COVERAGE	78,497 S.F. (61.35%)
PARKING SUMMARY	
PARKING REQUIREMENTS	REQUIRED PROVIDED
MEDICAL OFFICE @ 3,444 S.F. / 1 PER 250 S.F. / 3,444 S.F. OR	14 SPACES 14 SPACES
OFFICE @ 2,545 S.F. / 1 PER 300 S.F. / 2,545 S.F. OR	9 SPACES 9 SPACES
DAY CARE @ 10,005 S.F. / 1 PER 300 S.F. / 10,005 S.F. OR	34 SPACES 31 SPACES
TOTAL PARKING	57 SPACES 54 SPACES
BUILDING DATA	
NO. OF BUILDINGS	3
PEAK HEIGHT	29'-0"
TOTAL SQUARE FOOTAGE	15,994 S.F.

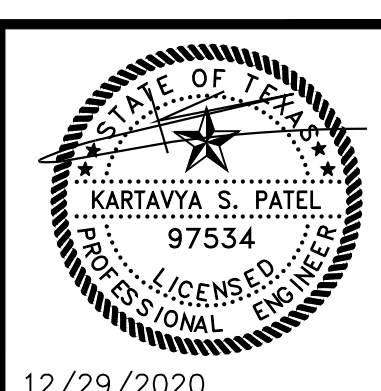
BOUNDARY LINE DATA		
LINE NO.	BEARING	DISTANCE
L1	S 78°34'14" W	102.41'
L2	N 11°25'13" W	201.02'
L3	N 01°10'03" W	31.12'
L4	N 58°45'59" W	50.79'
L5	S 89°38'31" E	471.62'
L6	S 13°21'59" W	186.88'
L7	S 44°51'38" W	145.74'
L8	S 43°32'33" E	88.95'
L9	S 56°56'31" E	43.84'
L10	N 06°41'00" W	72.48'
L11	N 49°32'37" W	53.50'
L12	N 11°25'13" W	80.18'
L13	N 49°32'37" W	45.66'
L14	N 42°27'23" E	40.17'
L15	N 49°29'15" W	17.40'
L16	N 40°27'23" E	52.70'
L17	N 00°21'29" W	64.76'
L18	S 84°56'24" W	42.78'
L19	N 49°32'37" W	32.01'
L20	S 40°27'23" W	32.59'
L21	S 00°21'29" E	113.80'

BOUNDARY CURVE DATA TABLE					
NO.	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH
C1	134.21'	750.00'	10°15'10"	N 06°17'38" W	134.03'
C2	226.46'	532.50'	24°21'59"	N 89°14'47" W	224.76'



OWNER/DEVELOPER DUNKIN ACADEMY ON LAKESHORE LLC 9628 GREENSPRING DRIVE DALLAS, TEXAS 75238 CONTACT: JOHN DUNKIN TEL: (469) 358-5590	ENGINEER TRIANGLE ENGINEERING LLC 1784 W. McDERMOTT DR. SUITE 110 ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL TEL: (214) 609-9271	SURVEYOR A&W SURVEYORS INC. P. O. BOX 870029 MESQUITE, TEXAS 75157 CONTACT: JOHN TURNER, R.P.L.S. TEL: (972) 881-4975	ARCHITECT GARY WOOD ARCHITECTS 4606 PARK SPRINGS BLVD. SUITE 110 ARLINGTON, TEXAS 76017 CONTACT: GRAY WOOD TEL: (817) 975-9767
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NO.	DATE	DESCRIPTION	BY
1	12/29/2020	PER CITY COMMENTS	KP



- ### GENERAL NOTES
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.
 - A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.
 - THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
 - WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS. AT HIS OWN COST AND EXPENSE THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
 - ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS", VOL. 29, SUBPART P. PG. 128 - 137, AND ANY AMENDMENTS THERETO.
 - ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.
 - THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
 - ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.
 - THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

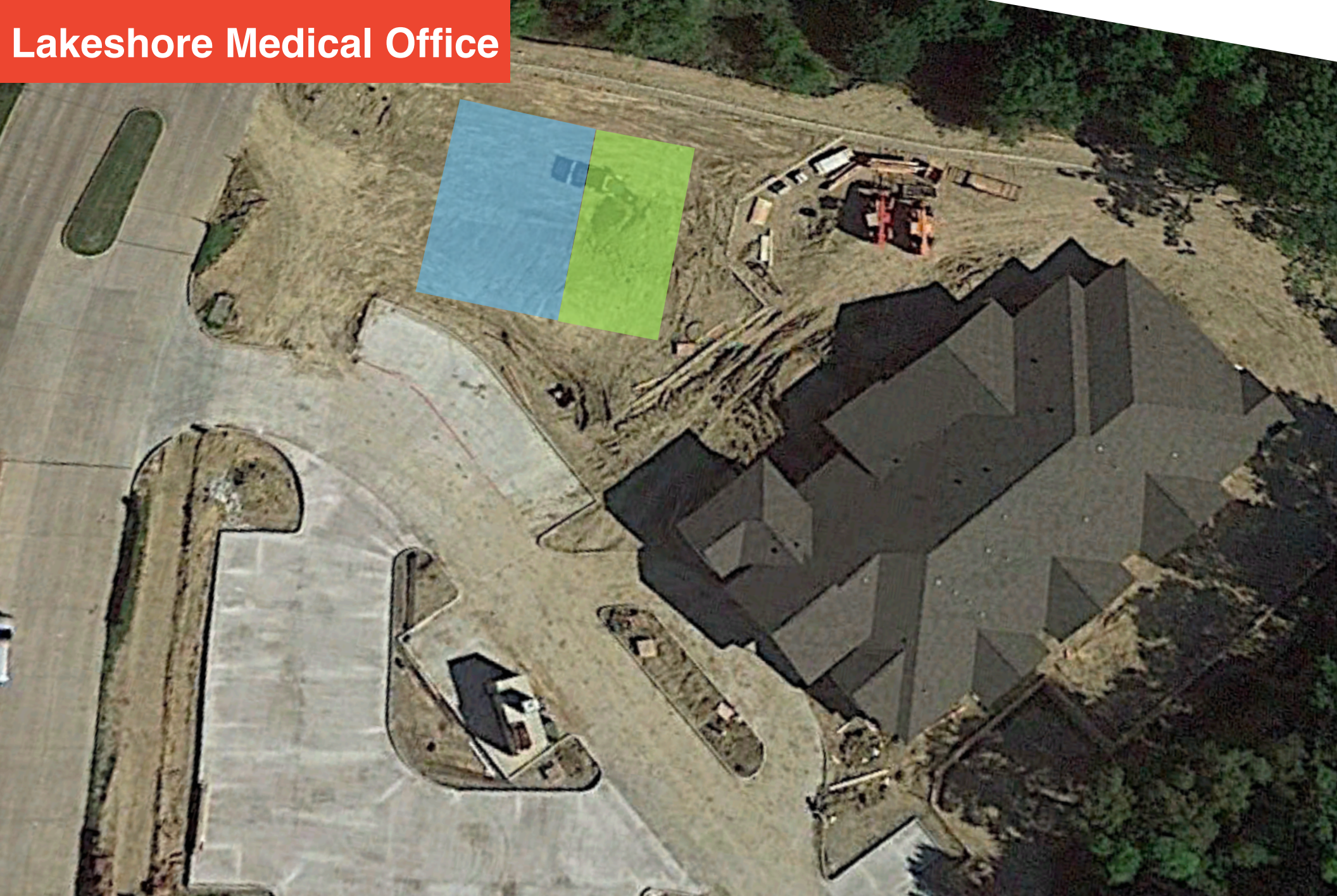
DETENTION NOTE

- ONSITE DETENTION WILL BE PROVIDED.

WATER METER & SANITARY SEWER SCHEDULE				
ID	TYPE	SIZE	NO.	SAN. SEW.
D1	DOM.	1 1/2"	1	6"
I1	IRR.	1"	1	
D2	DOM.	1"	1	
I2	IRR.	1"	1	

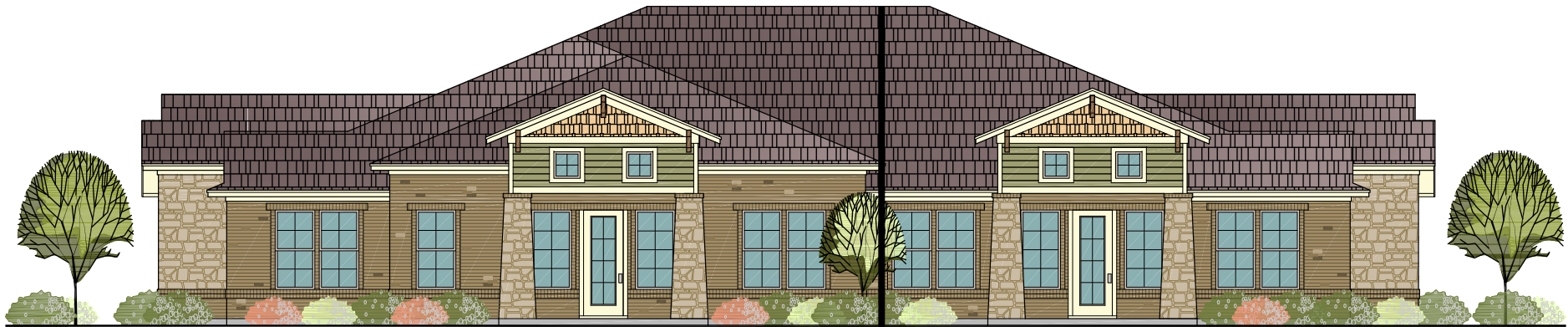
CASE #

SITE PLAN	
KIDDIE ACADEMY	
NEC OF N. LAKESHORE DRIVE & E. FORK ROAD	
CITY OF ROCKWALL	
ROCKWALL COUNTY, TEXAS	
T: 214.609.9271 F: 469.359.6709 E: kpatel@triangle-engr.com W: triangle-engr.com I: 1784 W. W. McDermott Drive, Suite 110, Allen, TX 75013	
Planning Civil Engineering Construction Management	
DESIGN/DRAWN	DATE
KP	08/23/16
SCALE	SCALE
BAR	BAR
PROJECT NO.	SHEET NO.
028-16	3
TX PE FIRM #11525	









Ordinance No. 94-15

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED SO AS TO GRANT A ZONING CHANGE ON A TRACT OF LAND MORE FULLY DESCRIBED HEREIN; ORDERING A CHANGE IN THE USE OF SAID PROPERTY FROM "PD-11", PLANNED DEVELOPMENT NO. 11 AND "SF-10" SINGLE FAMILY 10 DISTRICT CLASSIFICATION TO "PD-41" PLANNED DEVELOPMENT NO. 41; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a change in zoning from "PD-11" Planned Development No. 11 and "SF-10" Single Family 10 to "PD-41" Planned Development No. 41 on the property described on Exhibit "A" has been requested by MAHR Development; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows,

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas as heretofore amended, be and the same is hereby amended by amending the Zoning Map of the City of Rockwall so as to grant a zoning change from "PD-11" Planned Development No. 11 and "SF-10" Single Family 10 to "PD-41" Planned Development District No. 41 on the property specifically described in Exhibit "A", attached hereto and made a part hereof.

SECTION 2. That Planned Development District Number 41 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby provided that the granting of Planned Development District No. 41 to the above described tract of land is subject to the following special conditions:

A. The use of the property covered by Planned Development District No. 41 shall be in accordance with the provisions of this ordinance and the list of approved uses. Any development of the property covered by Planned Development No. 41 shall be in

compliance with the preliminary plan attached hereto as Exhibit "B", and made a part hereof, and no substantial change in the development shall be permitted, except after obtaining approval of the change of such preliminary plan in the manner required for changes and amendments to the Comprehensive Zoning Ordinance.

B. Development of Planned Development District No. 41 shall be regulated by the following requirements:

1. That the land uses; area requirements, including restrictions on garages on front entry lots and minimum masonry requirements; preliminary plan; and amenities as submitted or as amended herein are attached hereto and made a part hereof as Exhibit "C".
2. That the land use acreage as submitted be generally approved, and that the actual acreage for the 10,000 sq. ft. lots and the drainway/open space shall not be less than the acreage identified on the preliminary plan.
3. That the Developer shall dedicate 10 feet of ROW along N. Lakeshore and 5 feet of ROW along Alamo Road adjacent to the development in addition to the ROW necessary for construction of the roadway, in conjunction with the first phase of development. The Developer shall also submit for approval by the Commission and City Council a detailed screening/landscape plan for N. Lakeshore and Alamo Road in conformance with the application. The plan shall at a minimum contain screening walls/fences; sidewalks, which shall be curvilinear along N. Lakeshore; sprinkler systems to irrigate the parkway and other landscaping; and vertical landscaping to include trees and shrubs. A minimum of one large tree for every 50 feet of frontage, as defined by the City's landscape ordinance, shall be provided along N. Lakeshore. The detailed plan shall provide a phasing plan of improvements.
4. That the Developer shall provide a linear greenbelt along and generally in the configuration as shown on the preliminary plan. The greenbelt shall be cleared by the Developer as required by the City. Prior to the development of the first phase, the Developer shall submit for approval by the Commission and City Council a detailed plan for the greenbelt in conformance with the application. The plans, at a minimum, shall include a phasing plan of the improvements, location and design of the paved hiking path at a minimum width of 6 feet, cross sections of the drainway and adjacent parkway, design of any required drainage improvements including headwalls as required by the City, public streets allocated along both sides of the drainway, and overall dimensions of the greenbelt. At that time the City shall determine if said greenbelt shall be dedicated to the City or privately maintained.
5. The Developer may, if approved by the City, construct an amenity center

in conjunction with the development for the exclusive use residents of the district, in accordance with the preliminary plan. Any such facilities shall be proposed in conjunction with development of the first phase.

SECTION 3. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense continues shall be deemed to constitute a separate offense.

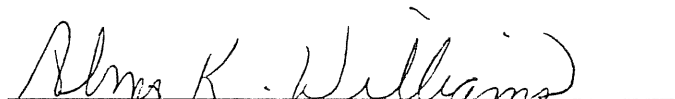
SECTION 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed to the extent of that conflict.

SECTION 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such case provides.


DULY PASSED AND APPROVED this 4th day of April, 1994.

APPROVED:



Mayor

ATTEST:



City Secretary

1st reading 03-21-94

2nd reading 04-04-94

HILLCREST MEADOWS"PD" PLANNED DEVELOPMENT DISTRICT NO.

STATE OF TEXAS
 COUNTY OF ROCKWALL

BEING a tract of land situated in the A. Hanna Survey, Abstract No. 98, and the J.G.B. Jones Survey, Abstract No. 124, Rockwall County, Texas, and being a part of that certain 262.474 acre tract of land described as Tract 1, in Special Warranty Deed, recorded in Volume 147, Page 474, Deed Records, Rockwall County, Texas, and further being a part of that tract of land conveyed to Robert S. Folsom by Richard W. Pickens, by deed recorded in Volume 100, Page 293, and being part of a 85.873 acre tract of land conveyed to H.L. Williams by deed recorded in Volume 51, Page 397, and being part of a tract conveyed from Dickerson to Robert S. Folsom by deed recorded in Volume 100, Page 677, and part of a tract being conveyed from W.F. Barrow, Jr., to R.S.Folsom by deed recorded in Volume 102, Page 403, and all of the above conveyances are recorded in the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod set at the intersection of the North line of Northshore Phase 2B, an addition to the City of Rockwall recorded in Slide B, Page 324, Plat Records, Rockwall County, Texas, with the Easterly line of North Lakeshore Drive, a 100 foot right-of-way;
 THENCE: Along the Easterly lines of North Lakeshore Drive, all to 1/2" iron rods set for a corner, as follows:

North 4 degrees 49' 27" East a distance of 13.66 feet to the beginning of a curve to the right, having a central angle of 51 degrees 36' 07", a radius of 450.00 feet, and a chord that bears North 30 degrees 37' 30" East a distance of 391.72 feet;

Along said curve an arc distance of 405.28 feet to the end of said curve;

North 56 degrees 25' 34" East a distance of 279.87 feet to the beginning of a curve to the left having a central angle of 67 degrees 17' 45", a radius of 681.01 feet, and a chord that bears North 22 degrees 46' 41" East a distance of 754.68 feet;

Along said curve an arc distance of 799.87 feet to the end of said curve;

North 10 degrees 52' 11" West a distance of 800.41 feet to the beginning of a curve to the right having a central angle of 10 degrees 15' 10", a radius of 750.00 feet, and a chord that bears North 5 degrees 44' 36" West, a distance of 134.03 feet;

Along said curve an arc distance of 134.21 feet to the end of said curve; and

North 0 degrees 37' 01" West a distance of 30.46 feet to the center of a public road (Alamo Road);

THENCE: Along the center of said public road as follows: South 58 degrees 12' 46" East a distance of 266.02 feet to a 1/2" iron rod set for a corner; South 24 degrees 18' 28" East a distance of 129.52 feet to a 1/2" iron rod set for a corner; South 42 degrees 59' 16" East a distance of 88.95 feet to a 1/2" iron rod set for a corner; South 56 degrees 23' 18" East a distance

of 465.30 feet to a 1/2" iron rod set for a corner; and South 63 degrees 51' 31" East a distance of 383.27 feet to a 1/2" iron rod set for a corner at the Northeast corner of said Pickens tract;

THENCE: South 1 degree 08' 58" East a distance of 25.74 feet to a 1/2" iron rod set for a corner in a fence line on the Southerly line of said road and at the Northwest corner of said Dickerson tract;

THENCE: Along said Southerly line and generally with said fence line all to 1/2" iron rods set for corners as follows: South 65 degrees 56' 58" East a distance of 403.91 feet; South 81 degrees 00' 39" East a distance of 206.91 feet; North 88 degrees 14' 11" East a distance of 1150.00 feet; North 89 degrees 28' 09" East a distance of 965.12 feet; and South 63 degrees 42' 26" East a distance of 247.93 feet to a 1/2" iron rod set for a corner at the Northeast corner of said Barrow tract and said Tract 1;

THENCE: South 24 degrees 08' 47" West a distance of 194.61 feet with the East line of said Barrow tract and said Tract 1 to a 1/2" iron rod set for a corner at a fence post;

THENCE" South 8 degrees 54' 33" East a distance of 84.59 feet with an old fence line to a 1/2" iron rod set for a corner on the North line of Northshore Phase Three, an addition to the City of Rockwall, recorded in Slide A, Page 337;

THENCE: North 89 degrees 10' 45" East a distance of 305.83 feet to the Northeast corner of said addition;

THENCE: South 01 degree 10' 53" West a distance of 522.77 feet with the East line of said Addition to a point for a corner;

THENCE: South 00 degrees 12' 21" East a distance of 209.37 feet to the most Northerly Southeast corner of said Addition;

THENCE: South 89 degrees 26' 01" West a distance of 252.98 feet to an "ell" corner of said Addition;

THENCE: South 00 degrees 58' 56" West a distance of 232.75 feet to the Southerly Southeast corner of said Addition and the most Easterly Northeast corner Northshore Phase One, recorded in Slide A, Page 181, Plat Records, Rockwall County, Texas;

THENCE: With the North lines of said Northshore Phase One and the South lines of said Northshore Phase Three as follows:

South 89 degrees 43' 56" West a distance of 190.05 feet to a point for a corner;

South 00 degrees 58' 56" West a distance of 3.55 feet to a point for a corner;

South 89 degrees 43' 56" West passing at 318.51 feet the Southwest corner of said Phase Three and continuing a total distance of 1595.56 feet to the most Northerly Northwest corner of said Phase One;

THENCE: North 0 degrees 16' 04" West a distance of 300.00 feet to a 1/2" iron rod found for a corner;

THENCE: South 89 degrees 43' 56" West a distance of 127.37 feet to a 1/2" iron rod found at the point of curvature of a circular curve to the left having a central angle of 24 degrees 00' 00", a radius of 650.00 feet, and a chord that bears South 77 degrees 43' 56" West a distance of 270.29

feet;

THENCE: Along said curve an arc distance of 272.27 feet to a 1/2" iron rod found for a corner;

THENCE: South 65 degrees 43' 56" West a distance of 285.56 feet to a 1/2" iron rod found at the point of curvature of a circular curve to the right having a central angle of 14 degrees 28' 26", a radius of 350.00 feet, and a chord that bears South 72 degrees 58' 09" West a distance of 88.18 feet;

THENCE: Along said curve an arc distance of 88.42 feet to a 1/2" iron rod found for a corner;

THENCE: South 9 degrees 47' 38" East passing at 297.25 feet the Northwest corner of Rockwall School Addition No. 2, an addition to the City of Rockwall and continuing a total distance of 315.00 feet to a 1/2" Iron rod found for a corner;

THENCE: South 0 degrees 44' 21" East a distance of 134.43 feet along the West line of said addition to a 1/2" iron rod set for a corner at the Northeast corner of that tract of land conveyed to N.L. Lofland by deed recorded in Volume 29, Page 462, Deed Records, Rockwall County, Texas;

THENCE: North 89 degrees 36' 50" West a distance of 377.53 feet generally along a fence and the North line of said Lofland tract to a 1/2" iron rod set for a corner;

THENCE: South 89 degrees 28' 21" West a distance of 307.93 feet continuing along said fence to a 1/2" iron rod found for a corner at a fence corner post;

THENCE: North 0 degrees 30' 20" East a distance of 127.33 feet to a fence corner post for a corner;

THENCE: North 89 degrees 36' 49" West a distance of 316.64 feet with said fence line to a 1/2" iron rod set for a corner in said fence line;

THENCE: North 89 degrees 29' 00" West a distance of 544.40 feet to a 1/2" iron rod found for a corner at the most Northerly Southeast corner of the previously mentioned Northshore Phase 2B;

THENCE: Along the East and then the North lines of said addition as follows: North 0 degrees 31' 00" East a distance of 190.00 feet to a 1/2" iron rod set for a corner; North 89 degrees 29' 00" West a distance of 5.01 feet to a 1/2" iron rod found for a corner; North 0 degrees 31' 00" East a distance of 140.00 feet to a 1/2" iron rod set for a corner at the most Northerly Northeast corner of said addition: North 89 degrees 29' 00" West a distance of ~~1323.03~~ feet to the Point of

Beginning and containing 145.744 acres of land.

500.68

REASONS FOR REQUEST

The purpose of the request is to permit the development of single family homes comparable to those permitted on other tracts in the area. The development may include private amenities for the use and enjoyment of the residents within the subdivision. Other improvements will include greenbelts for the use and enjoyment of the general public and landscaping along North Lakeshore Drive and Alamo Road.

PROPOSED PLANNED DEVELOPMENT DISTRICT
FOR
RESIDENTIAL USES

1. In conjunction with development of the District, Developer may construct an amenity center for the exclusive use and enjoyment of the residents of the district. The location and facilities included in such amenity center shall be considered for approval by the City at the time of consideration of the development plan for the first phase of the development. The cost of operating and maintaining the amenity center shall be the responsibility of the Developer and/or Homeowners Association formed by the Developer.
2. Exterior wall construction within the Planned Development district shall consist of a minimum of 75% masonry with no single elevation of any structure containing less than 50% of its exposed surface of masonry construction as specified herein. This requirement applies only to the first floor of the structure.
3. Developer shall dedicate to the City of Rockwall (subject to approval of the City) a linear greenbelt as indicated on the conceptual plan made a part of this ordinance. The details of the greenbelt shall be considered for approval by the City at the time of consideration of the development plan for the first phase of the development. Developer shall construct a public street along both sides of the greenbelt and shall install for public use a paved hiking path between one of said streets and the creek. Developer shall clear the dedicated area of underbrush and debris at the time of development of the adjoining sections of the proposed subdivision.
4. Developer shall dedicate a minimum of 10 feet of additional right-of-way along North Lakeshore Drive for the purpose of constructing screening walls, landscaping, sprinkler systems (including coverage of the street parkway) and other improvements.
5. On those lots not accessible to a paved alley, garage doors shall be oriented so as not to face a public street.

HAROLD L. EVANS *Consulting Engineer*
 2331 GUS THOMASSON ROAD, SUITE 102
 P.O. BOX 28355 214-328-8133
 DALLAS, TEXAS 75228 FAX 214-270-8847

HILLCREST MEADOWS

Zoning Application

Total Area of the Site		145.7 Acres
Area One - 10,000 S. F. Lots	Approximately 115 units	46.1 Acres
Area Two - 8,400 S. F. Lots	Approximately 216 units	72.0 Acres
Area Four - 10,000 S. F. Lots	Approximately 55 units	19.6 Acres
Assuming no alleys	-----	-----
	386	137.7 Acres
Park/Greenbelt		<u>8.0 Acres</u>
		145.7 Acres

The plan as submitted indicates the following percentages:

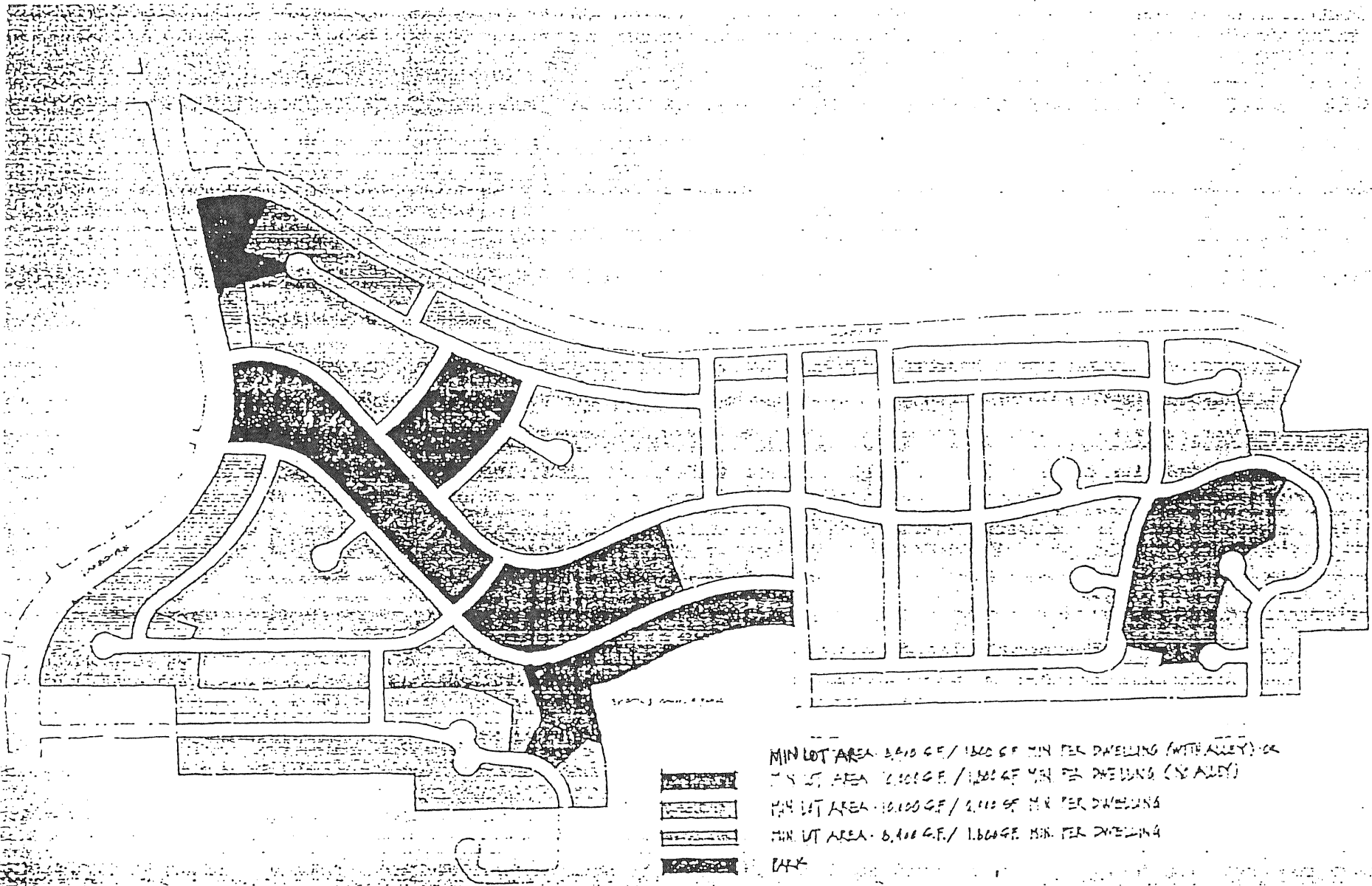
10,000 S. F. Lots	48% by land area	44% of total units
8,400 S. F. Lots	52% by land area	56% of total units

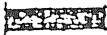
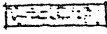
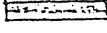

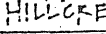
HILLCREST MEADOWS
PD
AREA REQUIREMENTS - AREA ONE

- | | |
|---|------------------------------------|
| 1. Minimum Lot Area - | 10,000 square feet |
| 2. Max. number of single family dwellings per lot - | 1 |
| 3. Minimum square footage per dwelling unit - | 2,000 square feet |
| 4. Minimum lot width - | 70 feet at the front building line |
| 5. Minimum lot depth - | 100 feet |
| 6. Minimum depth of front set back - | 25 feet |
| 7. Minimum depth of rear set back - | 10 feet |
| 8. Minimum width of side set back - | |
| a) Internal lot - | 6 feet |
| b) Sideyard set back (abutting street) - | 15 feet |
| c) Sideyard set back (abutting an arterial) - | 20 feet |
| 9. Minimum distance between separate buildings on the same lot - | 10 feet |
| 10. Maximum building area (as a percentage of lot area) - | 35% |
| 11. Maximum height of structures - | 36 feet |
| 12. Minimum number of off street parking spaces per unit (garage area will not be considered) - | 2 |

HILLCREST MEADOWSPDAREA REQUIREMENTS - AREA TWO

- | | |
|---|------------------------------------|
| 1. Minimum Lot Area - | 8,400 square feet |
| 2. Max. number of single family dwellings per lot - | 1 |
| 3. Minimum square footage per dwelling unit - | 1,800 square feet |
| 4. Minimum lot width - | 65 feet at the front building line |
| 5. Minimum lot depth - | 100 feet |
| 6. Minimum depth of front set back - | 25 feet |
| 7. Minimum depth of rear set back - | 10 feet |
| 8. Minimum width of side set back - | |
| a) Internal lot - | 6 feet |
| b) Sideyard set back (abutting street) - | 15 feet |
| c) Sideyard set back (abutting an arterial) - | 20 feet |
| 9. Minimum distance between separate buildings on the same lot - | 10 feet |
| 10. Maximum building area (as a percentage of lot area) - | 35% |
| 11. Maximum height of structures - | 36 feet |
| 12. Minimum number of off street parking spaces per unit (garage area will not be considered) - | 2 |



-  MIN LOT AREA - 8,810 G.F. / 1,800 SF MIN PER DWELLING (WITH ALLEY) OR
-  MIN LOT AREA - 7,000 G.F. / 1,500 SF MIN PER DWELLING (NO ALLEY)
-  MIN LOT AREA - 10,100 G.F. / 2,110 SF MIN PER DWELLING
-  MIN LOT AREA - 6,400 G.F. / 1,600 SF MIN PER DWELLING
-  PARK

HILLCREST MEADOWS 'PD'

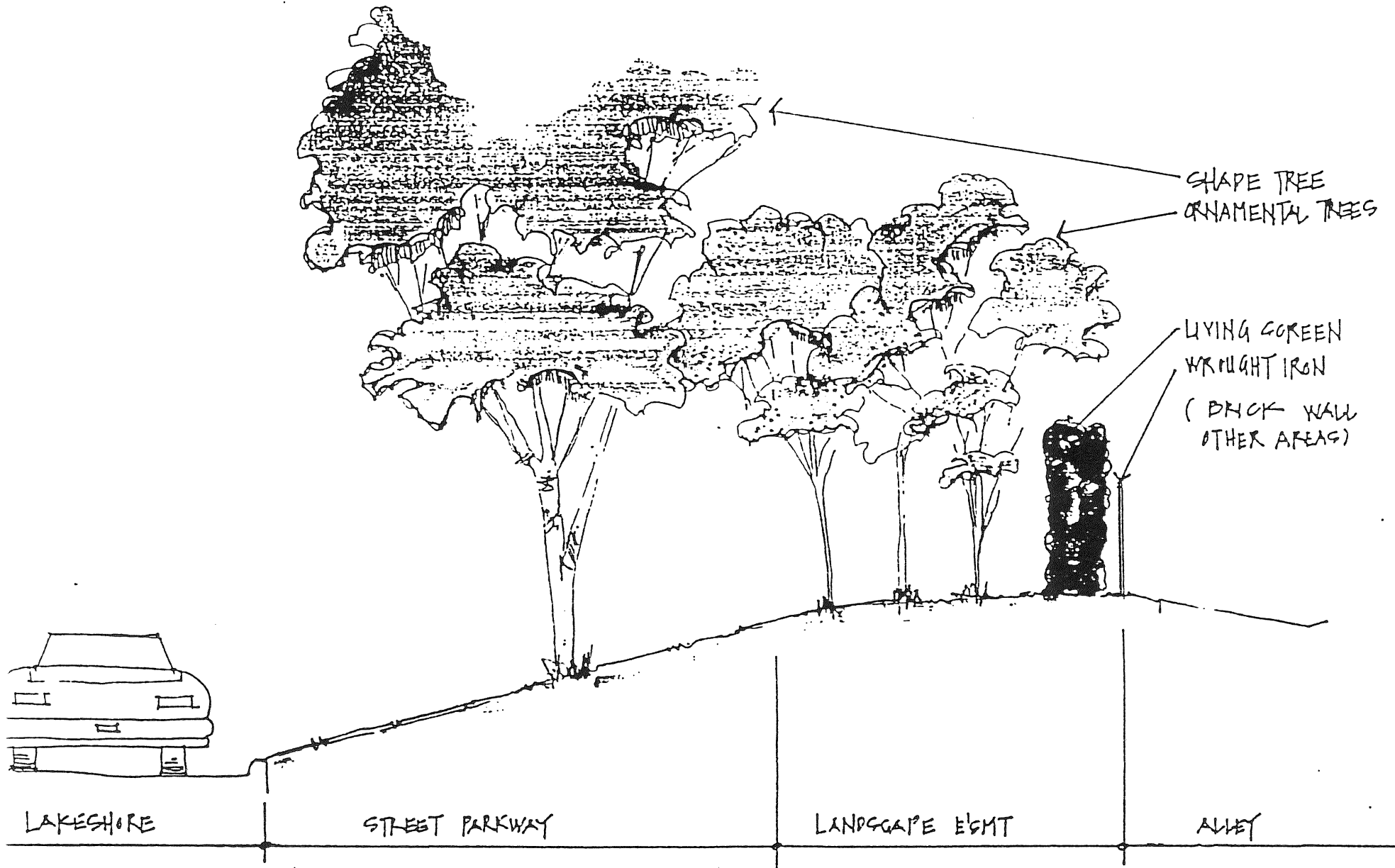
DATE: 11/11/11
 SCALE: AS SHOWN
 SHEET NO. 1 OF 1

HILLCREST MEADOWS

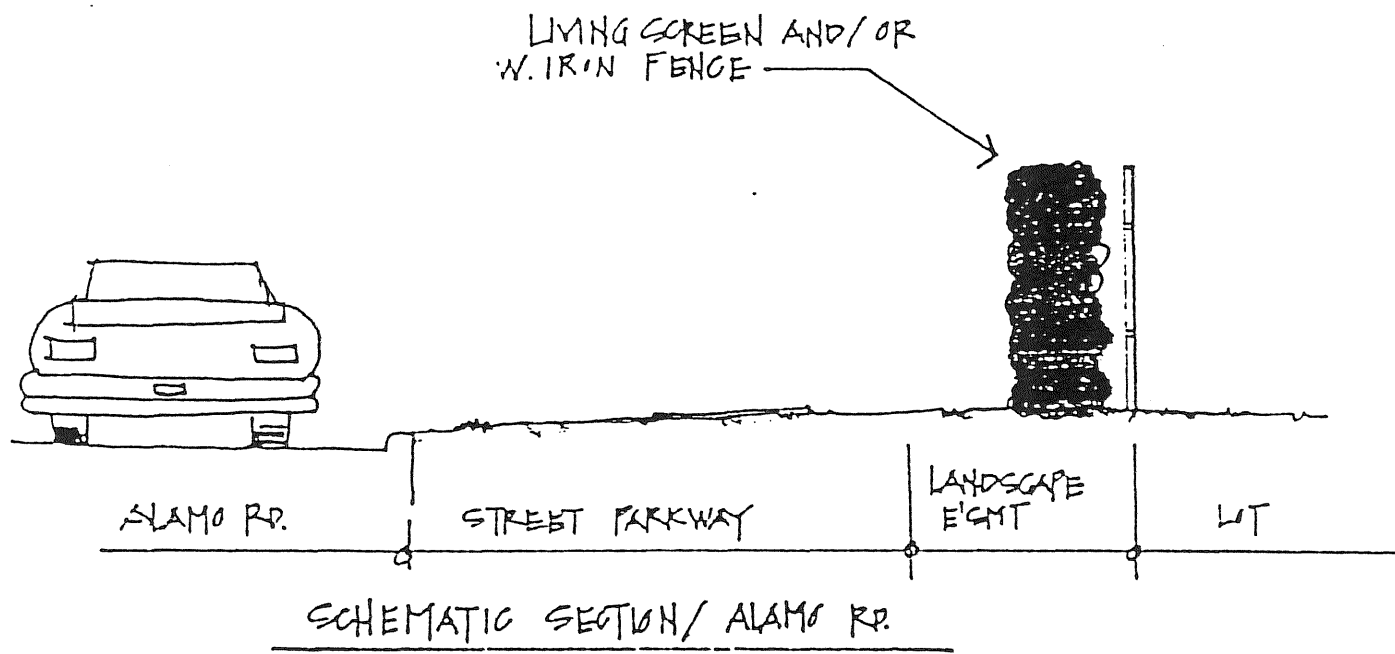
PD _____

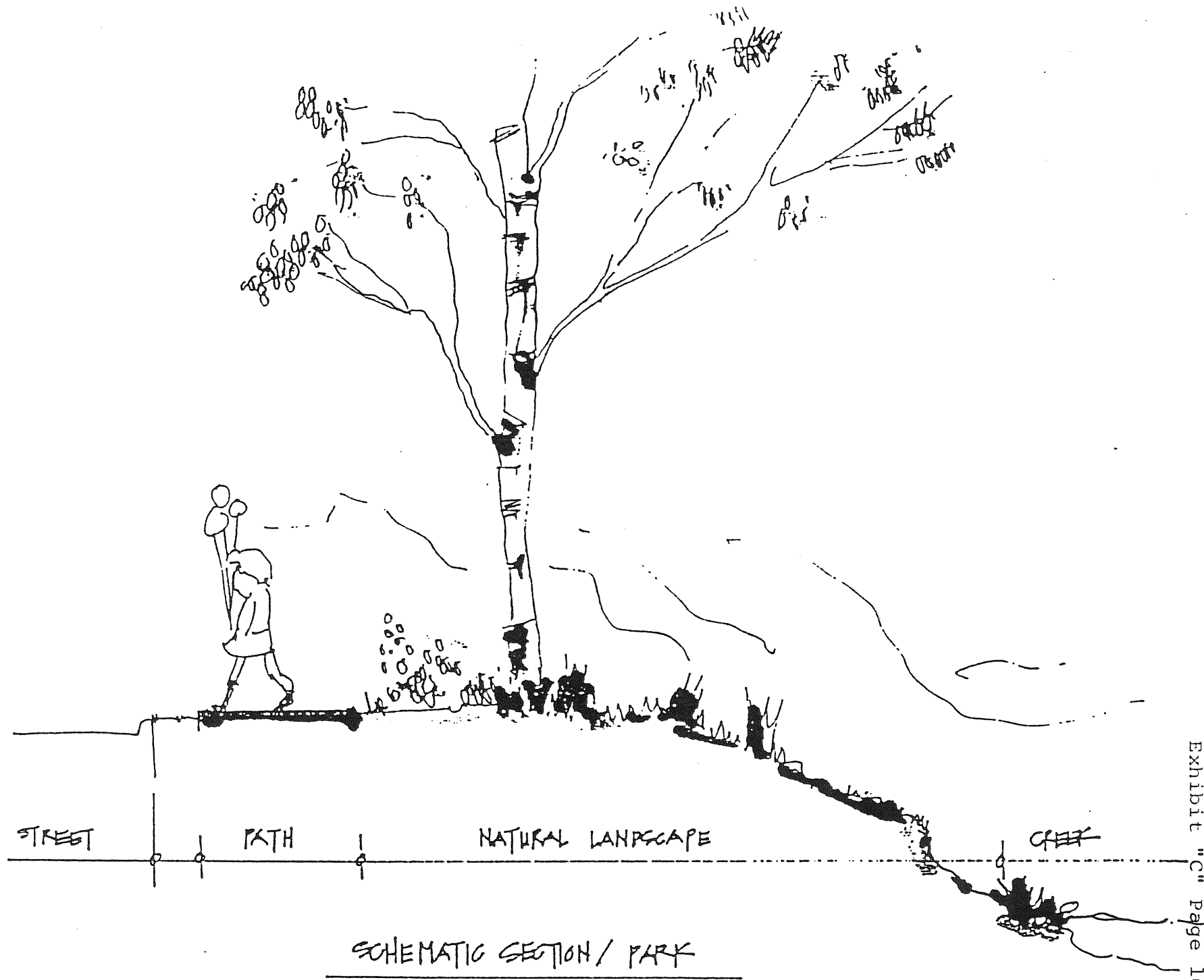
AREA REQUIREMENTS - AREA FOUR

- | | |
|---|--|
| 1. Minimum Lot Area - | 10,000 square feet (w/o alleys)
8,400 square feet (with alleys) |
| 2. Max. number of single family dwellings per lot - | 1 |
| 3. Minimum square footage per dwelling unit - | 1,800 square feet |
| 4. Minimum lot width - | 70 feet at the front building line |
| 5. Minimum lot depth - | 100 feet |
| 6. Minimum depth of front set back - | 25 feet |
| 7. Minimum depth of rear set back - | 10 feet |
| 8. Minimum width of side set back - | |
| a) Internal lot - | 6 feet |
| b) Sideyard set back (abutting street) - | 15 feet |
| c) Sideyard set back (abutting an arterial) - | 20 feet |
| 9. Minimum distance between separate buildings on the same lot - | 10 feet |
| 10. Maximum building area (as a percentage of lot area) - | 35% |
| 11. Maximum height of structures - | 36 feet |
| 12. Minimum number of off street parking spaces per unit (garage area will not be considered) - | 2 |



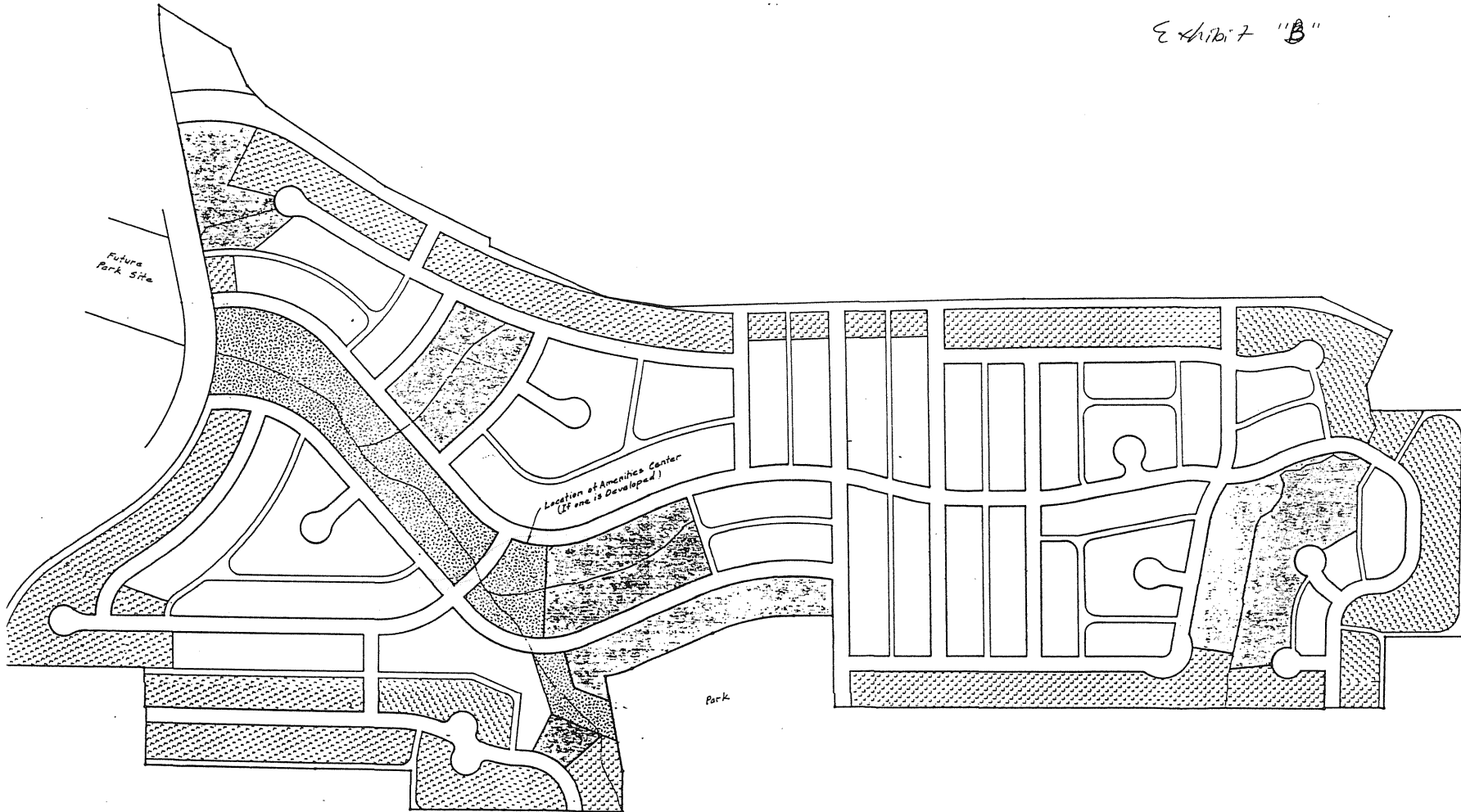
SCHEMATIC SECTION / LAKE SHORE





SCHEMATIC SECTION / PARK

Exhibit "B"



NOTE: STREET ALIGNMENT SHOWN IS CONCEPTUAL ONLY.

LEGEND

- 46.1 ACRES - [diagonal hatching] AREA ONE - MIN. LOT AREA - 10,000 SQ. FT. - 2,000 MIN. SQ. FT. PER DWELLING.
- 72.0 ACRES - [horizontal hatching] AREA TWO - MIN. LOT AREA - 10,000 SQ. FT. - 1,800 MIN. SQ. FT. PER DWELLING.
- 8 ACRES - [stippled] AREA THREE - PARK / GREENBELT
- 12.6 ACRES - [vertical hatching] AREA FOUR - MIN. LOT AREA - 10,000 SQ. FT. - 1,800 MIN. SQ. FT. PER DWELLING.

APPLICABLE UTILITIES ARE SHOWN ADJACENT TO DRAINAGEWAYS

HAROLD L. EVANS CONSULTING ENGINEER 2331 GUS THOMASSON RD. SUITE 02 DALLAS, TEXAS 75228 PHONE (214) 328-8133	239	
	HILLCK. M	
	MAHR DEVELOPMENT CO.	
SCALE	DATE	JOB NO.

ORDINANCE NO. 01-27

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AND ORDINANCE 94-15 AS HERETOFORE AMENDED SO AS TO GRANT A ZONING CHANGE ON A TRACT OF LAND MORE FULLY DESCRIBED HEREIN; ORDERING A CHANGE IN THE USE OF SAID PROPERTY "PD-41", PLANNED DEVELOPMENT NO. 41; ADOPTING REVISED AREA REQUIREMENTS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a City of Rockwall initiated change in zoning from "PD-41" – Planned Development No. 41 with "SF-10"-Single Family 10 and "SF-8.4"-Single Family 8.4 residential district requirements to "PD-41" – Planned Development No. 41 with "SF-10"-Single Family 10 on the property more fully described on the attached Exhibit "A"; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

Section 1. That the Comprehensive Zoning Ordinance (Ord. No. 83-23) and Ordinance No. 94-15 of the City of Rockwall, Texas as heretofore amended, be and the same is hereby amended with the approval of the amended Concept Plan (Exhibit "B") with revised area requirements for the property more fully described in Exhibit "A", attached hereto and made a part thereof.

Section 2. That "PD-41" - Planned Development No. 41, the tract of land described in the attached Exhibit "A" shall be used only in the manner and for the

purposes provided for in the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this approval of the revised Concept Plan (Exhibit "B") for "PD-41" shall affect only the property described in the attached Exhibit "A" and said property shall be limited to the uses, density, area, setback and other requirements set forth herein and is subject to the following special conditions:

A. The use of the property covered by "PD-41" – Planned Development No. 41 shall be in accordance with the provisions of this ordinance and the list of approved uses. Any development of the property covered by Planned Development No. 41 shall be in compliance with the revised Concept Plan attached hereto as Exhibit "B", and made part hereof, and no substantial change in the development shall be permitted, except after obtaining approval of the change of such Concept Plan in the manner required for changes and amendments to the Comprehensive Zoning Ordinance of the City of Rockwall.

B. Development of "PD-41" – Planned Development No. 41 shall be regulated by the following requirements:

1. That the land uses; area requirements, including restrictions on garages, on front-entry garages and minimum masonry requirements; Concept Plan; and amenities as submitted or as amended herein are attached hereto and made part hereof as Exhibit "C".
2. That the land use acreage as submitted be generally approved, and that the actual acreage for the 10,000 sq. ft. lots, 10,000 sq. ft. lots within the drainways and the park/greenbelt space shall not be less than the acreage identified on the Concept Plan (Exhibit "B") and detailed within Exhibit "C".
3. That the Developer shall dedicate 10 feet of right-of-way along North Lakeshore and 5 feet of right-of-way along Alamo Road adjacent to the development in addition to the right-of-way necessary for construction of the roadway, in conjunction with the first phase of development. The Developer shall also submit for approval by the City of Rockwall Planning and Zoning Commission and City Council a detailed screening/landscape plan for North Lakeshore and Alamo Road in conformance with the application. The plan shall at a minimum contain screening walls/fences; sidewalks, which shall be curvilinear along North Lakeshore; sprinkler systems to irrigate the parkway and other landscaping; and vertical landscaping to include trees and shrubs. A minimum of one large tree for every 50 feet of frontage, as defined by the City landscape ordinance, shall be provided along North Lakeshore. The detailed plan shall provide a phasing plan of improvements.

4. That the Developer shall provide a linear greenbelt along and generally in the configuration as shown on the Concept Plan (Exhibit "B"). The greenbelt shall be cleared by the Developer as required by all applicable ordinances of the City of Rockwall. Prior to the development of the first phase, the Developer shall submit for approval by the City of Rockwall Planning and Zoning Commission and City Council a detailed plan for the greenbelt in conformance with the application. The plans, at a minimum, shall include a phasing plan for improvements, location and design of the paved hiking path at a minimum width of 6 feet, cross sections of the drainway and adjacent parkway, design of any required drainage improvements including headwalls as required by the City, public streets allocated both sides of the drainway, and overall dimensions of the greenbelt. At that time the City shall determine if said greenbelt will be dedicated to the City or privately maintained. All elements of the greenbelt, pathways, hiking trails and sidewalks are subject to review and recommendation by the City's Park Board.
5. The Developer may, if approved by the City, construct an amenity center in conjunction with the development for the exclusive use of residents of the district, in accordance with the revised Concept Plan. Any such facilities shall be proposed in conjunction with development of the first phase.

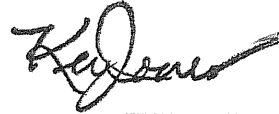
Section 3. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

Section 4. If any section paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

Section 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

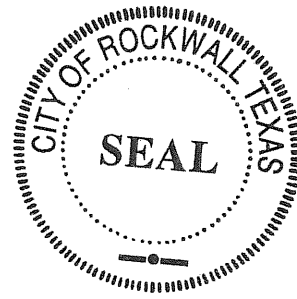
Section 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 18 day of June, 2001.



APPROVED

Belinda Page
ATTEST



1st Reading 6-4-01
2nd Reading 6-18-01

EXHIBIT "A"

HILLCREST MEADOWS

"PD" PLANNED DEVELOPMENT DISTRICT NO. 41

STATE OF TEXAS COUNTY OF ROCKWALL

BEING a tract of land situated in the A. Hanna Survey, Abstract No. 98, and the J.G.B. Jones Survey, Abstract No. 124, Rockwall County, Texas, and being a part of that certain 262.474 acre tract of land described as Tract 1, in Special Warranty Deed, recorded in Volume 147, Page 474, Deed Records, Rockwall County, Texas, and further being a part of that tract of land conveyed to Robert S. Folsom by Richard W. Pickens, by deed recorded in Volume 100, Page 293, and being part of a 85.873 acre tract of land conveyed to H.L. Williams by deed recorded in Volume 51, Page 397, and being part of a tract conveyed from Dickerson to Robert S. Folsom by deed recorded in Volume 100, Page 677, and part of a tract being conveyed from W.F. Barrow Jr., to R.S. Folsom by deed recorded in Volume 102, Page 403, and all of the above conveyances are recorded in the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a ½" iron rod set at the intersection of the North line of Northshore Phase 2B, an addition to the City of Rockwall recorded in Slide B, Page 324, Plat Records, Rockwall County, Texas, with Easterly line of North Lakeshore Drive, 1 100 foot right-of-way;

THENCE: Along the Easterly lines of North Lakeshore Drive, all to ½" iron rods set for corner as follows:

North 4°49'27" East a distance of 13.66 feet to the beginning of a curve to the right, having a central angle 51°36'07", a radius of 450 feet, and a chord that bears North 30°37'30" East a distance of 391.72 feet;

Along said curve an arc distance of 405.28 feet to the end of said curve;

North 56°25'34" East a distance of 279.87 feet to the beginning of a curve to the left having a central angle of 67°17'45", a radius of 681.01 feet, and a chord that bears North 22°46'41" East a distance of 754.68 feet;

Along said curve an arc distance of 799.87 feet to the end of said curve;

North 10°52'11" West a distance of 800.41 feet to the beginning of a curve to the right having a central angle of 10°15'10", a radius of 750.00 feet, and a chord that bears North 5°44'36" West a distance of 134.03 feet;

Along said curve an arc distance of 134.21 feet to the end of said curve; and

North 0°37'01" West a distance of 30.46 feet to the center of a public road (Alamo Road);

THENCE: Along the center of said public road as follows: South 58°12'46" East a distance of 266.02 feet to a ½" iron rod set for corner; South 24°18'28" East a distance of 129.52 feet to a ½" iron rod set for corner; South 42°59'16" East a distance of 88.95 feet to a ½" iron rod set for corner; South 56°23'18" East a distance of 465.30 feet to a

EXHIBIT "A"

½" iron rod set for corner; South 63°51'31" East a distance of 383.27 feet to a ½" iron rod set for corner at the Northeast corner of said Pickens tract;

THENCE: South 1°08'58" East a distance of 25.74 feet to a ½" iron rod set for corner in a fence line on the Southerly line of said road and at the Northwest corner of said Dickerson tract;

THENCE: Along said Southerly line and generally with said fence line all ½" iron rods set for corner as follows: South 65°56'58" East a distance of 403.91 feet; South 81°00'39" East a distance of 206.91 feet; North 88°14'11" East a distance of 1150.00 feet; North 81°00'39" East a distance of 965.12 feet; and South 63°00'39" East a distance of 247.93 feet to a ½" iron rod set for corner at the Northeast corner of said Barrow Tract and said Tract 1;

THENCE: South 24°08'47" West a distance of 194.61 feet with the East line of said Barrow tract and said Tract 1 to a ½" iron rod set for corner at a fence post;

THENCE: South 08°54'33" East a distance of 84.59 feet with an old fence line to a ½" iron rod set for corner on the North line of Northshore Phase Three, an addition to the City of Rockwall, recorded in Slide A, Page 337;

THENCE: North 89°10'45" East a distance of 305.83 feet to the Northeast corner of said addition;

THENCE: South 01°10'53" West a distance of 522.77 feet with the East line of said Addition to a point for a corner;

THENCE: South 00°12'21" East a distance of 209.37 feet to the most Northerly Southeast corner of said Addition;

THENCE: South 89°26'01" West a distance of 252.98 feet to an "ell" corner of said Addition;

THENCE: South 00°58'56" West a distance of 232.75 to the Southerly Southeast corner of said Addition and the most Easterly Northeast corner of Northshore Phase One, recorded in Slide A, Page 181, Plat Records, Rockwall County, Texas;

THENCE: With the North lines of said Northshore Phase One and the South lines of said Northshore Phase Three as follows:

South 89°43'56" West a distance of 190.05 feet to a point for a corner;

South 00°58'56" West a distance of 3.55 feet to a point for a corner;

South 89°43'56" West passing at 318.51 feet to the Southwest corner of said Phase Three and continuing a total distance of 1595.56 feet to the most Northerly Northwest corner of said Phase One;

THENCE: North 00°16'04" West a distance of 300.00 feet to a ½" iron rod found for a corner;

THENCE: South 89°43'56" West a distance of 127.37 feet to a ½" iron rod found at the point of curvature of a circular curve to the left having a central angle of 24°00'00", a radius of 650.00 feet, and a chord that bears South 77°43'56" West a distance of 270.29 feet;

THENCE: Along said curve an arc distance of 272.27 feet to a ½" iron rod found for a corner;

THENCE: South 65°43'56" West a distance of 285.66 feet to a ½" iron rod found at the point of curvature of a circular curve to the right having a central angle 14°28'26", a

EXHIBIT "A"

radius of 350.00 feet, and a chord that bears South 72°58'09" West a distance of 88.18 feet;

THENCE: Along said curve an arc distance of 88.42 feet to a ½" iron rod found for a corner;

THENCE: South 09°47'38" East passing at 297.25 feet to the Northwest corner Rockwall School Addition No. 2, an addition to the City of Rockwall and continuing a total distance of 315.00 feet to ½" iron rod found for corner;

THENCE: South 00°44'21" East a distance of 134.43 feet along the West line of said addition to a ½" iron rod set for corner at the Northeast corner of that tract of land conveyed to N.L. Lofland by deed recorded in Volume 29, Page 462, Deed Records, Rockwall County, Texas;

THENCE: South 89°36'50" West a distance of 377.53 feet generally along a fence and the North line of said Lofland tract to a ½" iron rod set for a corner;

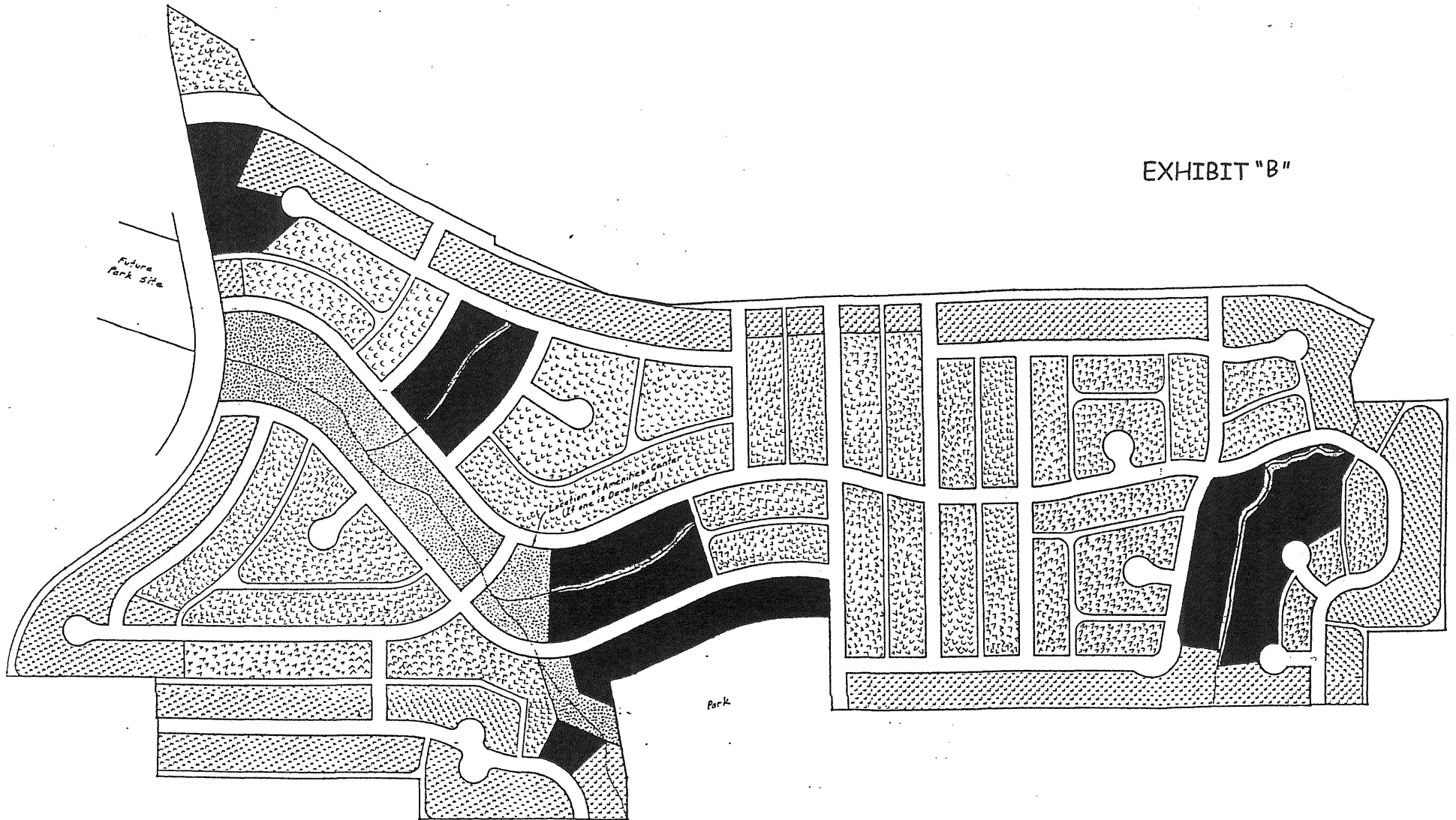
THENCE: North 89°28'21" West a distance of 307.93 feet continuing along said fence to a ½" iron rod found for a corner at a fence corner post;

THENCE: North 00°30'20" East a distance of 127.33 feet to a fence corner post for a corner;

THENCE: North 89°29'00" West a distance of 544.40 feet to a ½" iron rod found for a corner at the most Northerly Southeast corner of the previously mentioned Northshore Phase 2B;

THENCE: Along the East and then the North lines of said addition as follows: North 00°31'00" East a distance of 190.00 feet to a ½" iron rod set for a corner; North 89°29'00" West a distance of 5.01 feet to a ½" iron rod set for a corner; North 00°31'00" East a distance of 140.00 feet to a ½" iron rod set for a corner at the most Northerly Northeast corner of said addition: North 89°29'00" West a distance of 500.68 feet to the **POINT OF BEGINNING** and containing 145.744 acres of land.

EXHIBIT "B"



NOTE STREET ALIGNMENT SHOWN IS CONCEPTUAL ONLY.

- 118.1 ACRES - [Pattern] AREA ONE - MIN. LOT AREA=10,000 SQ.FT.-2,000 MIN. SQ.FT. PER DWELLING
- 19.6 ACRES - [Pattern] AREA TWO - MIN. LOT AREA=10,000 SQ.FT.-1,800 MIN. SQ.FT. PER DWELLING ASSUMING ALLEYS ARE WAIVED ADJACENT TO DRAINWAYS, DWELLING UNITS WILL HAVE SIDE ENTRY GARAGES
- 8 ACRES - [Pattern] AREA THREE - PARK / GREENBELT

HAROLD L. EVANS CONSULTING ENGINEER <small>2331 GUS THOMASSON RD. SUITE 102 DALLAS, TEXAS 75228 PHONE (214) 328-8133</small>			ZONING MAP HILLCREST MEADOWS MAHR DEVELOPMENT CORP. 14755 Preston Road, Suite 830, Dallas, Texas 75240		
SCALE	DATE	JOB NO.			
1"=200'	11-23-93	9323-A			

REASONS OF THE REQUEST

The city initiated planned development zoning change of "PD-41" – Planned Development No. 41, amendment of the City of Rockwall Comprehensive Zoning Ordinance (Ord. No. 83-23) and Ordinance No. 94-15 resulted from the Planned Development review process performed by the City of Rockwall Planning and Zoning Commission as required under the Planned Development section of the Comprehensive Zoning Ordinance.

Furthermore, the purposed of the change is to allow the development of a single-family residential homes comparable to those permitted on other tracts in the area. The development may include private amenities for the use an enjoyment of the residents within the proposed development. Other improvements include greenbelts and landscaping along North Lakeshore Drive and Alamo Drive for the use and enjoyment of the general public.

**PROPOSED PLANNED DEVELOPMENT DISTRICT
FOR
RESIDENTIAL USES**

1. In conjunction with development of the District, Developer may construct an amenity center for the exclusive use and enjoyment of the residents of the district. The location and facilities included within such amenity center shall be considered for approval by the City at the time of consideration of the development plan for the first phase of the development. The cost of operating and maintaining the amenity center shall be responsibility of the Developer and/or Homeowners Association formed by the Developer.
2. Exterior wall construction with the Planned Development district shall consist of a minimum of 75% masonry with no single elevation of any structure containing less than 50% of its exposed surface of masonry construction as specified herein. This requirement applies only to the first floor of the structure.
3. Developer shall dedicate to the City of Rockwall (subject to approval of the City) a linear greenbelt as indicated on the revised Concept Plan (Exhibit "B") made part hereto of this ordinance. The details of the greenbelt shall be considered for approval by the City at the time of consideration of the development plan for the first phase of the development. Developer shall construct a public street along both sides of the greenbelt and shall (with review and recommendation for approval by the City's Park Board) install for public use a paved hiking path between one of the said streets and the creek.
4. Developer shall dedicate a minimum of 10 feet of additional right-of-way along North Lakeshore Drive and 5 feet along Alamo Drive for the purposes of constructing screening walls, landscaping, irrigation systems (including coverage of the street parkway) and other improvements.
5. On those lots not accessible to a paved alley, garage doors shall be oriented so as to not face a public street (i.e. j-swing garage access)

EXHIBIT "C"

HILLCREST MEADOWS
REVISED ZONING APPLICATION

Total Area of the Site		145.7 Acres
Area One – 10,000 s.f. Lots	Approximately 294 units*	118.1 Acres
Area Two – 10,000 s.f. Lots Assuming No Alleys	Approximately 55 units	19.6 Acres
	_____	_____
	349 units	137.7 Acres
Area Three - Park / Greenbelt		<u>8.0 Acres</u>
		145.7 Acres

The revised Concept Plan as reflected through this ordinance indicates the following percentages:

10,000 s.f. Lots	81 % by land area	84 % by total units
10,000 s.f. Lots	13 % by land area	16 % by total units

**HILLCREST MEADOWS
PLANNED DEVELOPMENT NO. 41
AREA REQUIREMENTS – AREA ONE**

1.	Maximum Lot Area -	10,000 square feet
2.	Maximum number of single family dwellings per lot -	1
3.	Minimum square footage per dwelling unit -	2,000 square feet
4.	Minimum Lot Width -	80 feet at the front building line
5.	Minimum Lot Depth -	100 feet
6.	Minimum Depth of Front Setback -	25 feet
7.	Minimum Depth of Rear Setback -	10 feet
8.	Minimum Depth of Side Setback -	
	(a) Internal Lot -	6 feet
	(b) Sideyard set back (abutting street) -	15 feet
	(c) Sideyard set back (abutting an arterial) -	20 feet
9.	Minimum distance between separate buildings on the same lot -	10 feet
10.	Maximum building area (as a percentage of lot area) -	35%
11.	Maximum Height of Structures -	36 feet
12.	Minimum Number of off-street Parking spaces per unit (garage Area will not be considered) -	2

**HILLCREST MEADOWS
PLANNED DEVELOPMENT NO. 41
AREA REQUIREMENTS – AREA TWO**

1.	Maximum Lot Area -	10,000 square feet (without alleys)
4.	Maximum number of single family dwellings per lot -	1
5.	Minimum square footage per dwelling unit -	1,800 square feet
4.	Minimum Lot Width -	80 feet at the front building line
5.	Minimum Lot Depth -	100 feet
6.	Minimum Depth of Front Setback -	25 feet
7.	Minimum Depth of Rear Setback -	10 feet
8.	Minimum Depth of Side Setback -	
	(a) Internal Lot -	6 feet
	(b) Sideyard set back (abutting street) -	15 feet
	(c) Sideyard set back (abutting an arterial) -	20 feet
9.	Minimum distance between separate buildings on the same lot -	10 feet
10.	Maximum building area (as a percentage of lot area) -	35%
11.	Maximum Height of Structures -	36 feet
13.	Minimum Number of off-street Parking spaces per unit (garage Area will not be considered) -	2

ZONING MAP		HAROLD L. EVANS CONSULTING ENGINEER	
HILLCREST MEADOWS		2331 BUS THOMASSON RD, SUITE 102 DALLAS, TEXAS 75228 PHONE (214) 328-8133	
MAHR DEVELOPMENT CORP.		JOB NO.	9923-A
14755 Preston Road, Suite 830, Dallas, Texas 75240		SCALE	1"=200'
		DATE	11-23-93

NOTE STREET ALIGNMENT SHOWN IS CONCEPTUAL ONLY.

118.1 ACRES - MIN. LOT AREA=10,000 SQ. FT.-2,000 MIN. SQ. FT. PER DWELLING

19.6 ACRES - AREA TWO - MIN. LOT AREA=10,000 SQ. FT.-1,800 MIN. SQ. FT. PER DWELLING ASSUMING ALLEYS ARE WAITED ADJACENT TO DRIVEWAYS, DWELLING UNITS WILL HAVE SIDE ENTRY GARAGES

8 ACRES - AREA THREE - PARK / GREENBELT

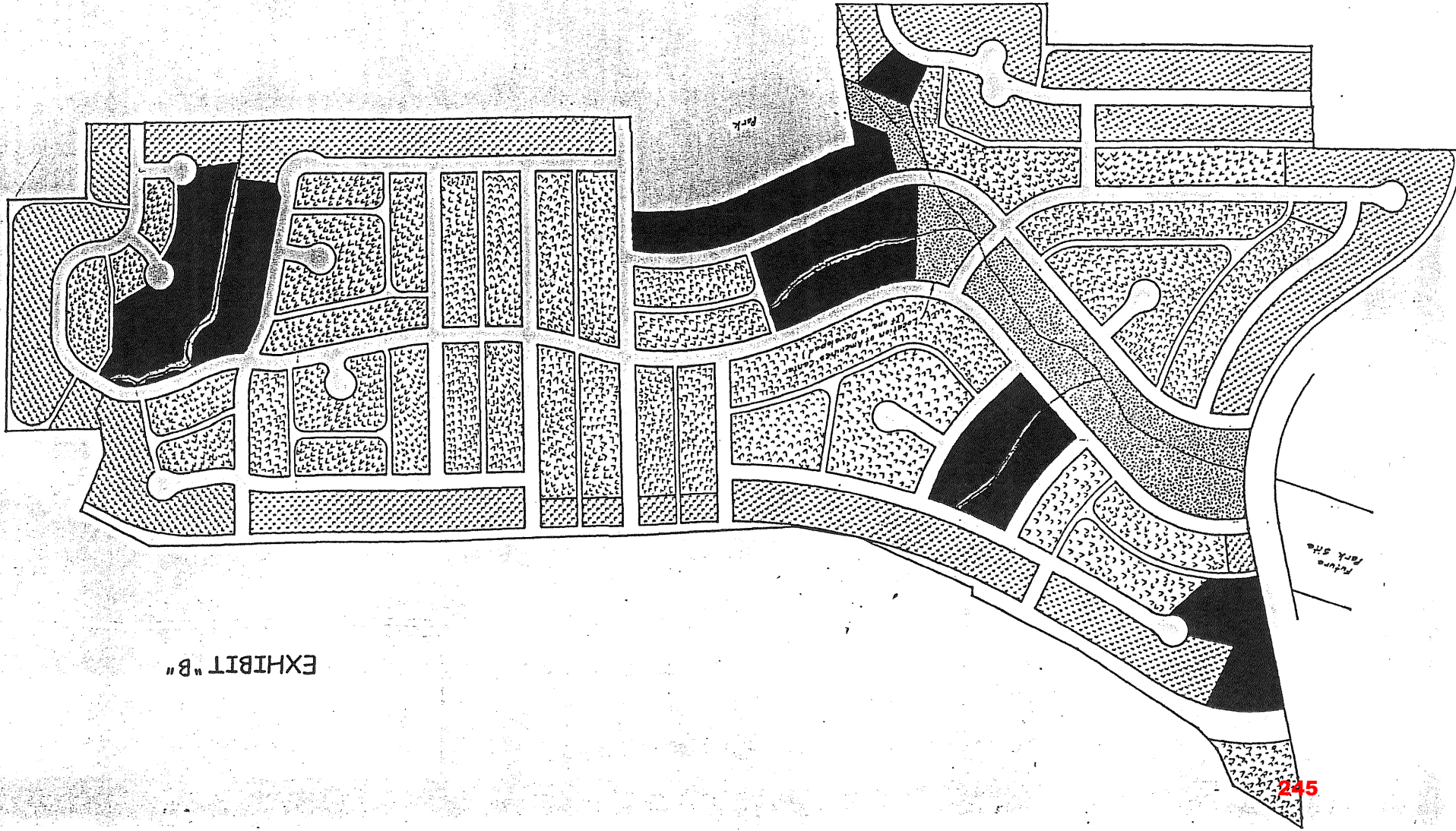
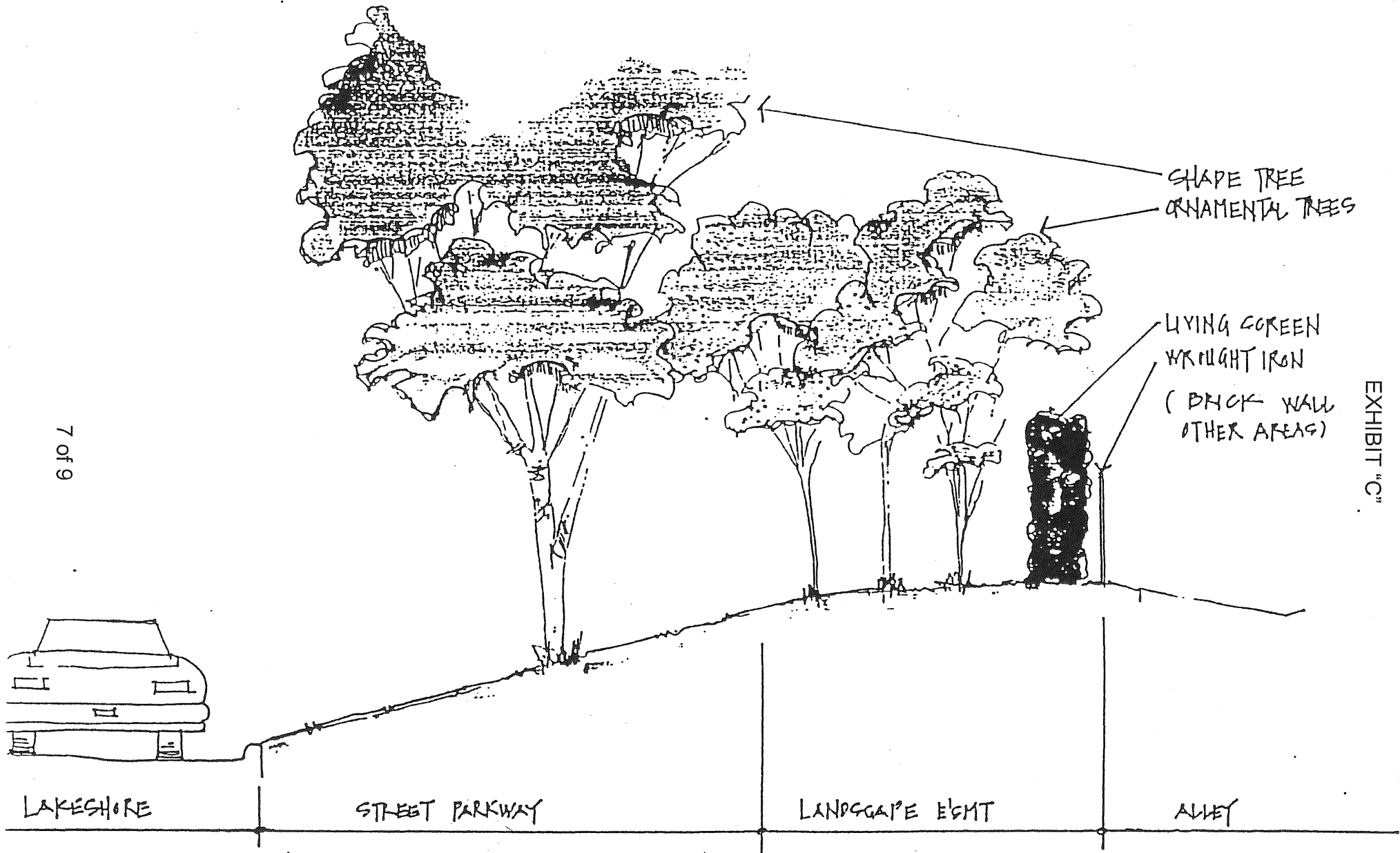


EXHIBIT "B"

6 of 9



7 of 9

SHAPE TREE
ORNAMENTAL TREES

LIVING SCREEN
WROUGHT IRON
(BRICK WALL
OTHER AREAS)

EXHIBIT "C"

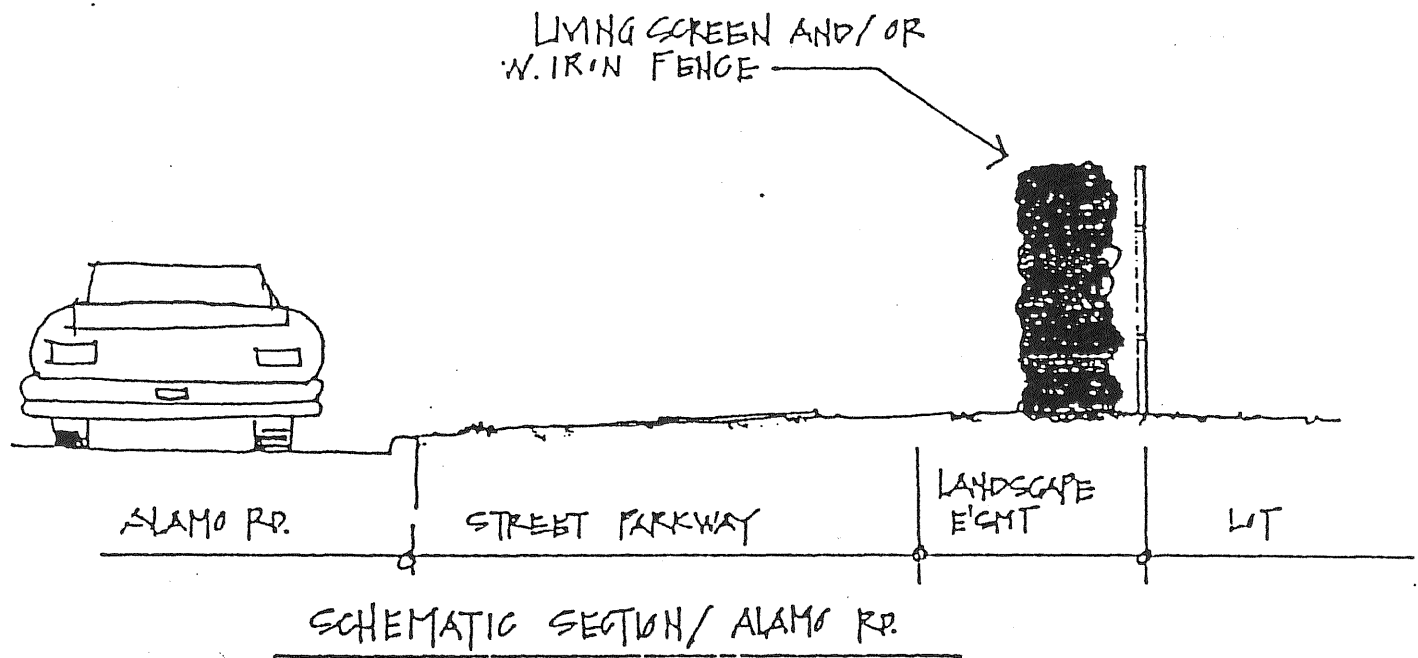
LAKE SHORE

STREET PARKWAY

LANDSCAPE ELEMENT

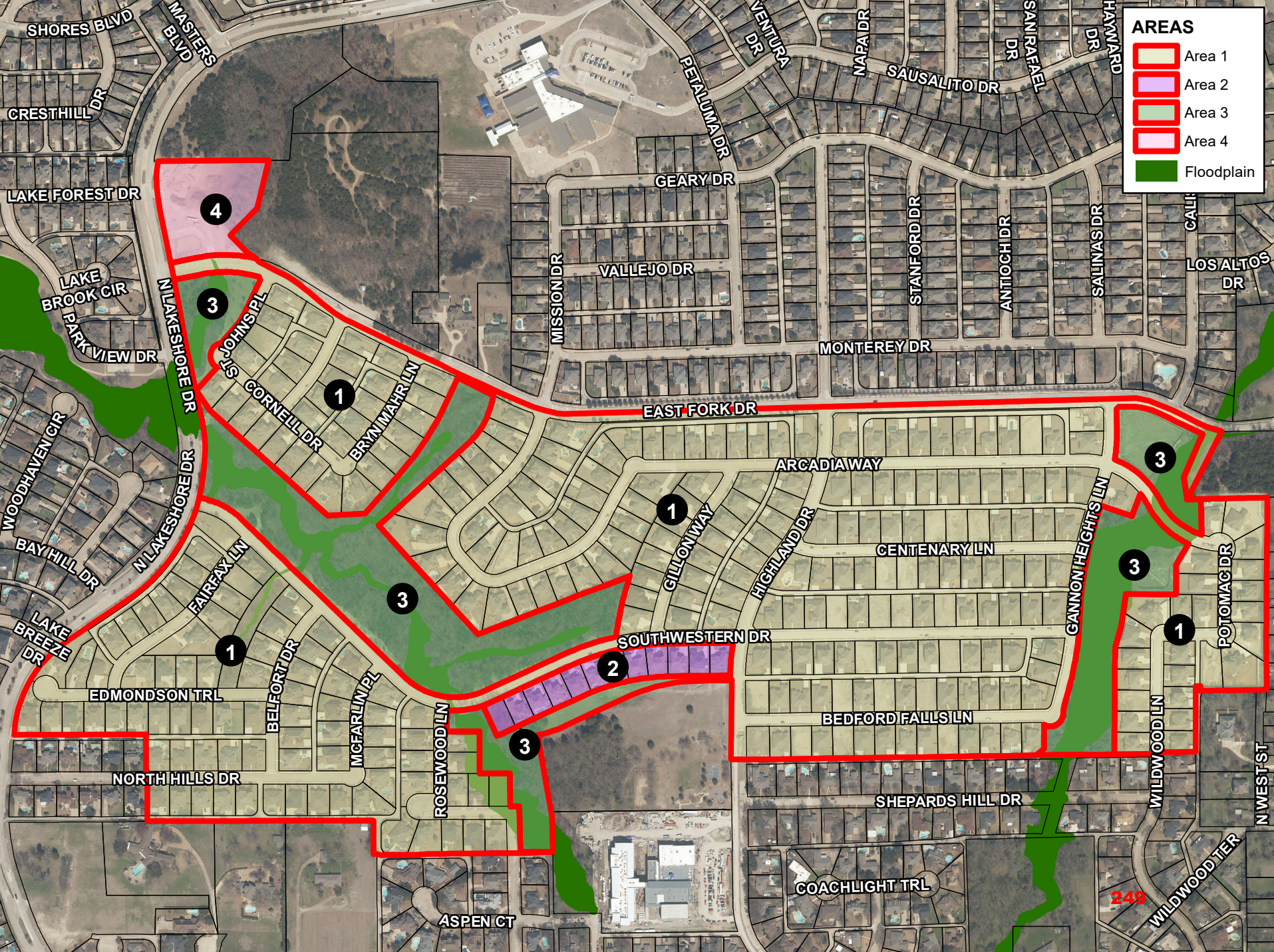
ALLEY

SCHEMATIC SECTION / LAKE SHORE





SCHEMATIC SECTION / PARK



CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 41 (PD-41) [ORDINANCE NO.'S 94-15 & 01-27] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 41 (PD-41) AND REZONING A 1.46-ACRE TRACT OF LAND FROM SINGLE-FAMILY 10 (SF-10) DISTRICT TO PLANNED DEVELOPMENT DISTRICT 41 (PD-41), BEING A ~145.744-ACRE TRACT OF LAND SITUATED WITHIN THE A. HANNA SURVEY, ABSTRACT NO. 98 AND THE J. G. B. JONES SURVEY, ABSTRACT NO. 124, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Doug Galloway of Viaduct Development on behalf of GotRocks Properties, LLC for the approval of a zoning change from Single-Family 10 (SF-10) District to Planned Development District 41 (PD-41) for General Retail (GR) District land uses for a 1.46-acre tract of land being a portion of a larger 2.96-acre parcel of land identified as Lot 1, Block A, North Lake Shore Daycare Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District and Planned Development District 41 (PD-41) [Ordinance No.'s 94-15 & 01-27] for Single-Family 10 (SF-10) land uses, addressed as 1940 N. Lakeshore Drive, and more fully described in Exhibit 'A' of this ordinance as Tract 2, and depicted in Exhibit 'B' of this ordinance as a portion of Area 4, which hereinafter the combine acreage of Tracts 1 & 2 in Exhibit 'A' shall be referred to as the *Subject Property* and incorporated by reference herein; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 41 (PD-41) [Ordinance No.'s 94-15 & 01-27], Specific Use Permit (SUP) No. S-057 [Ordinance No. 08-39], and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in Ordinance No.'s 94-15, 01-27 & 08-39;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in Exhibit 'B' of this ordinance, attached hereto and incorporated herein by reference as Exhibit 'B', which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*; which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 04-38*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 04-38*] (*including references to the Unified Development Code*), and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF FEBRUARY, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 19, 2021

2nd Reading: February 1, 2021

Tract 1: Existing Planned Development District 41 (PD-41)

BEING a tract of land situated in the A. Hanna Survey, Abstract No. 98, and the J.G.B. Jones Survey, Abstract No. 124, Rockwall County, Texas, and being a part of that certain 262.474 acre tract of land described as *Tract 1*, in Special Warranty Deed, recorded in *Volume 147, Page 474* Deed Records, Rockwall County, Texas, and further being a part of that tract of land conveyed to Robert S. Folsom by Richard W. Pickens, by deed recorded in *Volume 100, Page 293*, and being part of a 85.873-acre tract of land conveyed to H. L. Williams by deed recorded in *Volume 51, Page 397*, and being part of a tract conveyed from Dickerson to Robert S. Folsom by deed recorded in *Volume 100, Page 677*, and part of a tract being conveyed from W. F. Barrow Jr. to R.S. Folsom by deed recorded in *Volume 102, Page 403*, and all of the above conveyances are recorded in the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a ½" iron rod set at the intersection of the north line of Northshore Phase 2B, an addition to the City of Rockwall recorded in *Slide B, Page 324*, Plat Records, Rockwall County, Texas, with easterly line of N. Lakeshore Drive, 100-foot right-of-way;

THENCE along the easterly lines of N. Lakeshore Drive, all to ½" iron rods set for corner as follows:

North 4°49'27" East a distance of 13.66-feet to the beginning of a curve to the right, having a central angle 51°36'07", a radius of 450-feet, and a chord that bears North 30°37'30" East a distance of 391.72-feet;

Along said curve an arc distance of 405.28-feet to the end of said curve;

North 56°25'34" East a distance of 279.87-feet to the beginning of a curve to the left having a central angle of 67°17'45", a radius of 681.01-feet, and a chord that bears North 22°46'41" East a distance of 754.68-feet;

Along said curve an arc distance of 799.87-feet to the end of said curve;

North 10°52'11" West a distance of 800.41-feet to the beginning of a curve to the right having a central angle of 10°15'10", a radius of 750.00-feet, and a chord that bears North 5°44'36" West a distance of 134.03-feet;

Along said curve an arc distance of 134.21-feet to the end of said curve, and North 0°37'01" West a distance of 30.46-feet to the center of a public road (*Alamo Road*);

THENCE along the center of said public road as follows:

South 58°12'46" East a distance of 266.02-feet to a ½" iron rod set for corner;

South 24°18'28" East a distance of 129.52-feet to a ½" iron rod set for corner;

South 42°59'16" East a distance of 88.95-feet to a ½" iron rod set for corner;

South 56°23'18" East a distance of 465.30-feet to a ½" iron rod set for corner;

South 63°51'31" East a distance of 383.27-feet to a ½" iron rod set for corner at the northeast corner of said *Pickens Tract*;

THENCE South 1°08'58" East a distance of 25.74-feet to a ½" iron rod set for corner in a fence line on the southerly line of said road and at the northwest corner of said *Dickerson Tract*;

THENCE along said southerly line and generally with said fence line all ½" iron rods set for corner as follows:

South 65°56'58" East a distance of 403.91-feet;

South 81°00'39" East a distance of 206.91-feet;

North 88°14'11" East a distance of 1,150.00-feet;

North 81°00'39" East a distance of 965.12-feet;
South 63°00'39" East a distance of 247.93 feet-to a ½" iron rod set for corner at the northeast corner of said *Barrow Tract* and said *Tract 1*;

THENCE South 24°08'47" West a distance of 194.61-feet with the east line of said *Barrow Tract* and said *Tract 1* to a ½" iron rod set for corner at a fence post;

THENCE South 08°54'33" East a distance of 84.59-feet with an old fence line to a ½" iron rod set for corner on the north line of *Northshore Phase 3*, an addition to the City of Rockwall, recorded in *Slide A, Page 337*;

THENCE North 89°10'45" East a distance of 305.83-feet to the northeast corner of said addition;

THENCE South 01°10'53" West a distance of 522.77-feet with the east line of said addition to a point for a corner;

THENCE South 00°12'21" East a distance of 209.37-feet to the most northerly southeast corner of said addition;

THENCE South 89°26'01" West a distance of 252.98-feet to an "ell" corner of said addition;

THENCE South 00°58'56" West a distance of 232.75-to the southerly southeast corner of said addition and the most easterly northeast corner of *Northshore Phase 1*, recorded in *Slide A, Page 181*, Plat Records, Rockwall County, Texas;

THENCE with the north lines of said *Northshore Phase 1* and the south lines of said *Northshore Phase 3* as follows:

South 89°43'56" West a distance of 190.05-feet to a point for a corner;
South 00°58'56" West a distance of 3.55-feet to a point for a corner;
South 89°43'56" West passing at 318.51-feet to the southwest corner of said *Phase 3* and continuing a total distance of 1,595.56-feet to the most northerly northwest corner of said *Phase 1*;

THENCE North 00°16'04" West a distance of 300.00-feet to a ½" iron rod found for a corner;

THENCE South 89°43'56" West a distance of 127.37-feet to a ½" iron rod found at the point of curvature of a circular curve to the left having a central angle of 24°00'00", a radius of 650.00-feet, and a chord that bears South 77°43'56" West a distance of 270.29-feet;

THENCE along said curve an arc distance of 272.27-feet to a ½" iron rod found for a corner;

THENCE South 65°43'56" West a distance of 285.66-feet to a ½" iron rod found at the point of curvature of a circular curve to the right having a central angle 14°28'26", a radius of 350.00-feet, and a chord that bears South 72°58'09" West a distance of 88.18-feet;

THENCE along said curve an arc distance of 88.42-feet to a ½" iron rod found for a corner;

THENCE South 09°47'38" East passing at 297.25-feet to the northwest corner *Rockwall School Addition No. 2*, an addition to the City of Rockwall and continuing a total distance of 315.00-feet to ½" iron rod found for corner;

THENCE South 00°44'21" East a distance of 134.43-feet along the west line of said addition to a ½" iron rod set for corner at the northeast corner of that tract of land conveyed to N. L. Lofland by deed recorded in *Volume 29, Page 462*, Deed Records, Rockwall County, Texas;

THENCE South 89°36'50" West a distance of 377.53-feet generally along a fence and the north line of said Lofland tract to a ½" iron rod set for a corner;

THENCE North 89°28'21" West a distance of 307.93-feet continuing along said fence to a ½" iron rod found for a corner at a fence corner post;

THENCE North 00°30'20" East a distance of 127.33-feet to a fence corner post for a corner;

THENCE North 89°29'00" West a distance of 544.40-feet to a ½" iron rod found for a corner at the most northerly southeast corner of the previously mentioned *Northshore Phase 2B*;

THENCE Along the east and then the north lines of said addition as follows:

North 00°31'00" East a distance of 190.00-feet to a ½" iron rod set for a corner;

North 89°29'00" West a distance of 5.01-feet to a ½" iron rod set for a corner;

North 00°31'00" East a distance of 140.00-feet to a ½" iron rod set for a corner at the most northerly northeast corner of said addition.

THENCE North 89°29'00" West a distance of 500.68 feet to the *POINT BEGINNING* and containing 145.744-acres of land.

Tract 2: Single-Family 10 (SF-10) District Tract of Land Being Incorporated into Planned Development District 41 (PD-41)

BEING a tract of land situated in the A. Hanna Survey, Abstract No. 98, and the N. Butler Survey, Abstract No. 21, Rockwall County, Texas, and part of the North Lakeshore Daycare Addition, as recorded on August 30, 2018 in the *Deed Records* of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at the most northeastern corner of the North Lakeshore Daycare Addition, an addition to the City of Rockwall, Block A, Lot 1, Rockwall Central Appraisal District *Property ID# 72086*;

THENCE Along the property lines and adjacent zoning boundary lines of said addition as follows:

South 13°21'59" West a distance of 186.68-feet for a corner;

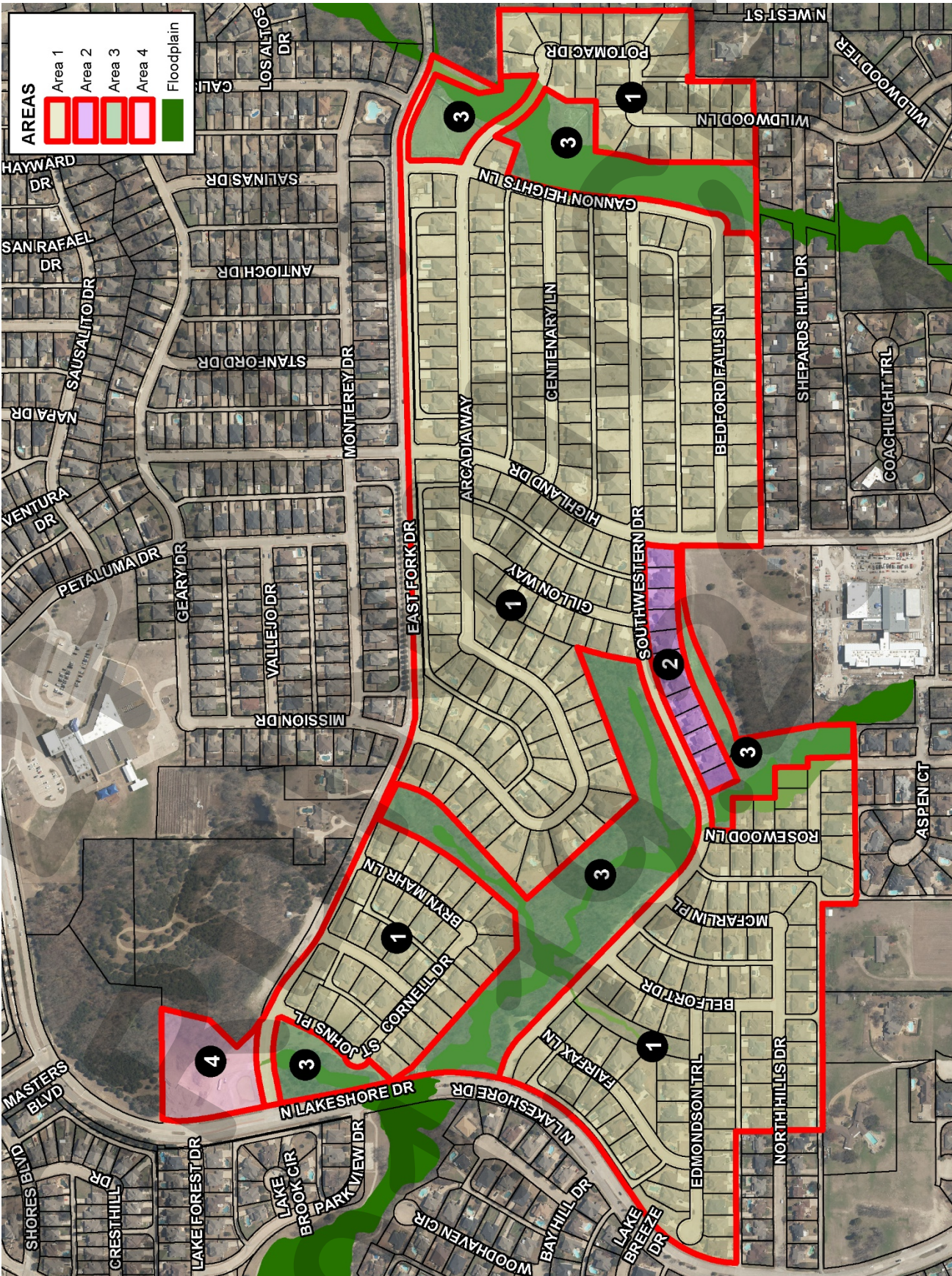
South 45°34'42" West a distance of 148.33-feet for a corner;

North 24°52'10" West a distance of 129.52-feet for a corner;

North 58°46'28" West a distance of 266.02-feet for a corner;

North 89°38'31" East a distance of 52.33-feet along the North boundary of the subdivision for a point;

North 89°38'31" East continuing a distance of 419.29-feet to the *POINT BEGINNING* and containing 1.46-acres (63,457.121894 SF) of land.



(A) Purpose.

- (1) Ordinance No. 94-15. The purpose of the request is to permit the development of single-family homes comparable to those permitted on other tracts in the area. The development may include private amenities for the use and enjoyment of the residents within the subdivision. Other improvements will include greenbelts for the use and enjoyment of the general public and landscaping along N. Lakeshore Drive and Alamo Road.
- (2) Ordinance No. 01-27. The City initiated a zoning amendment to Planned Development District 41 (PD-41) in accordance with the Planned Development Review Process performed by the City of Rockwall Planning and Zoning Commission as required under the Planned Development of the Comprehensive Zoning Ordinance (*Ordinance No. 83-23*).
- (3) Ordinance No. 1. The purpose of this request is to incorporate a 1.46-acre tract of land into Planned Development District 41 (PD-41) and change a 2.96-acre property at the northeast corner of E. Fork Drive and N. Lakeshore Drive to allow limited General Retail (GR) District land uses and development standards.

(B) Areas 1 & 2: ~145.7-Acres [Phases 1, 2 & 3 of the Preserve Subdivision]: The area identified as Areas 1 & 2 in Exhibit 'B' of this ordinance shall be subject to the following requirements:

- (1) Permitted Land Uses. Areas 1 & 2 shall be subject to the permitted land uses stipulated for properties in a Single-Family 10 (SF-10) District as specified by Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (2) Lot Composition. The lot composition shall conform to the following:

Area	Acreage	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Unit (%)
1	~118.10-Acres	10,000 SF	294	84.24%
2	~19.60-Acres	10,000 SF	55	15.76%
TOTAL:	~145.70-Acres		349	100.00%

- (3) Density and Dimensional Requirements. The following density and dimensional requirements are required for development on Areas 1 & 2:

Lot Type (see Concept Plan) ▶	AREA 1 ⁽¹⁾	AREA 2 ^{(1) & (2)}
Minimum Lot Area	10,000 SF	10,000 SF
Minimum Lot Width at Front Building Setback	80'	80'
Minimum Lot Depth	100'	100'
Minimum Front Yard Setback	25'	25'
Minimum Side Yard Setback	6'	6'
Minimum Side Yard Setback (Adjacent to a Residential Street)	15'	15'
Minimum Rear Yard Setback (Adjacent to an Arterial Street)	20'	20'
Minimum Rear Yard Setback	10'	10'
Minimum Area/Dwelling Unit (SF)	2,000 SF	2,000 SF
Minimum Distance Between Buildings	10'	10'
Maximum Lot Coverage	35%	35%
Maximum Height	36'	36'
Minimum Off-Street Parking Requirement ⁽³⁾	2	2

General Notes:

- 1: Maximum number of single-family dwellings per lot is one (1).
- 2: Without alleyways.
- 3: Minimum two (2) car garage required.

- (4) Masonry Requirements. Exterior wall construction within the Planned Development District shall consist of a minimum of 75% masonry with no single elevation of any structure containing less than 50% of its exposed surface of masonry construction as specified herein. This requirement applies only to the first floor of the structure.
- (5) Garage Orientation. On lots *not* accessible by an alleyway, garage doors shall be oriented in a Traditional Swing or J-Swing (i.e. oriented so that the garage doors do not face onto a public street).
- (6) Schematic Sections. All development within Areas 1 & 2 shall maintain conformance with the following schematics:

Figure 1: Park and Trail

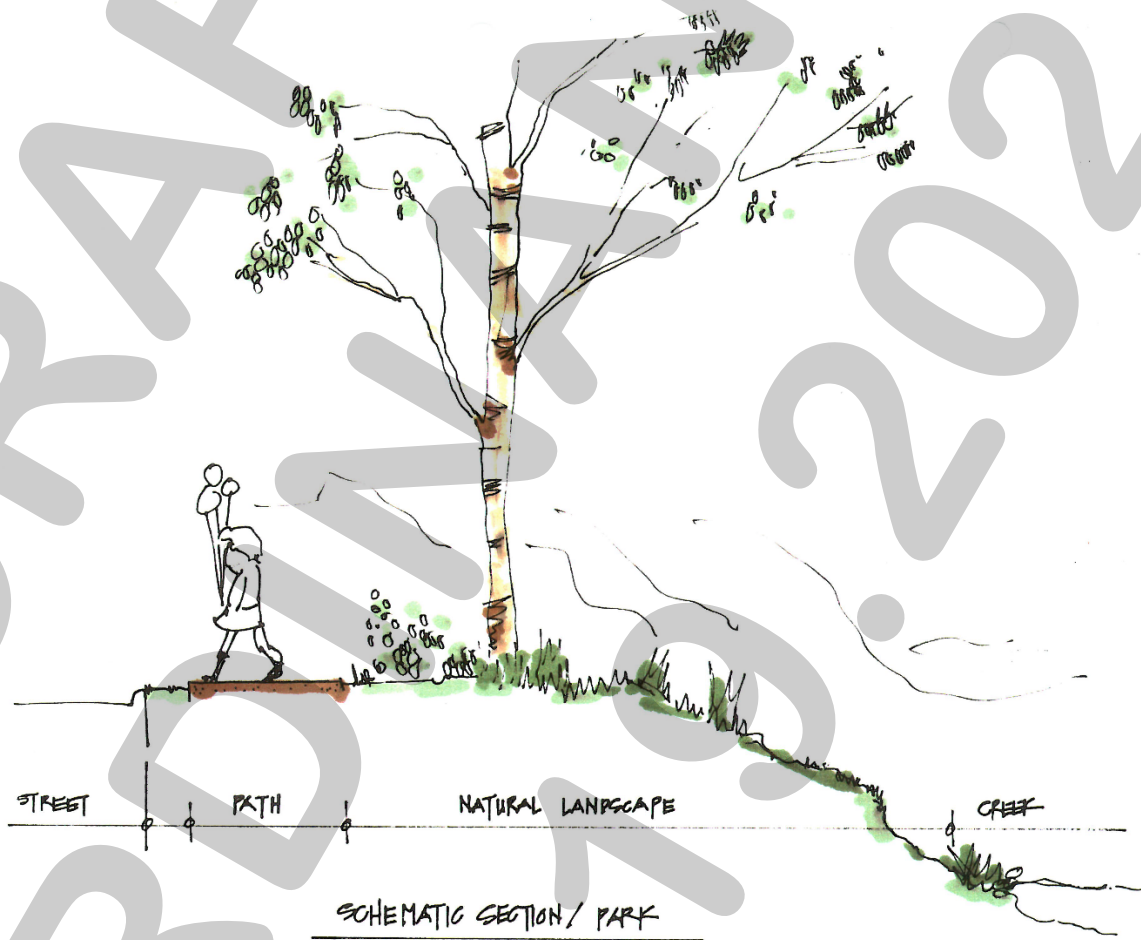


Figure 2: Screening Along N. Lakeshore Drive

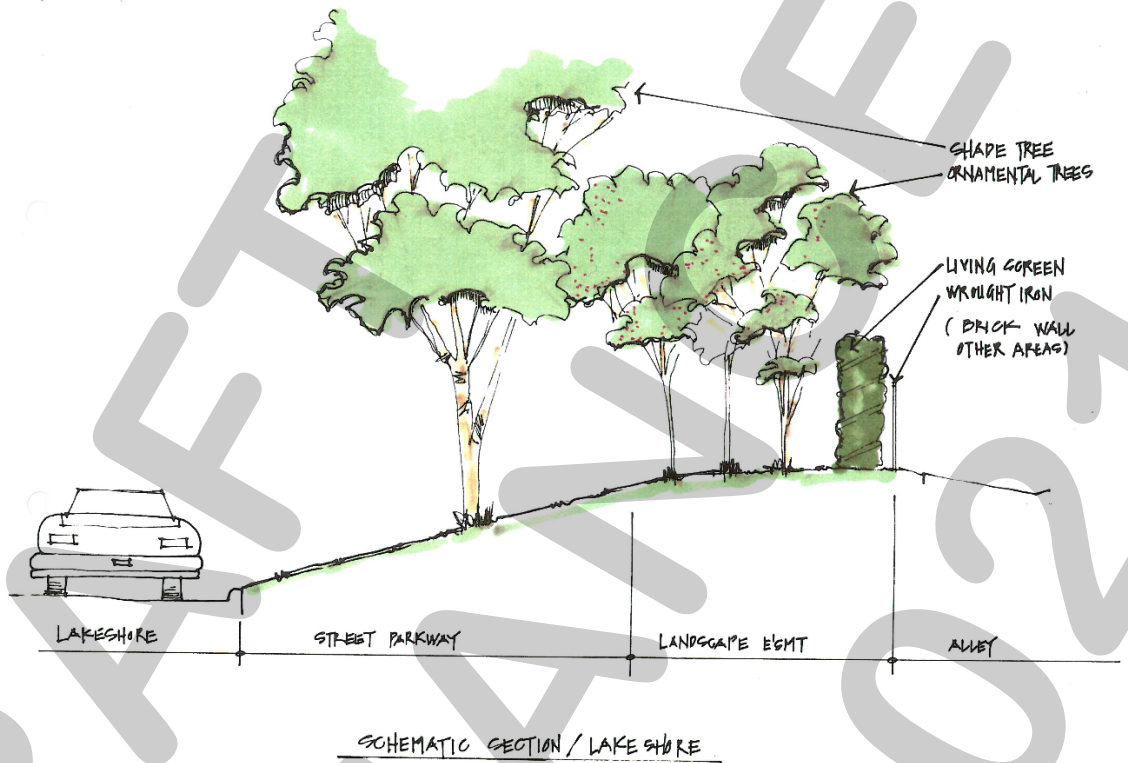
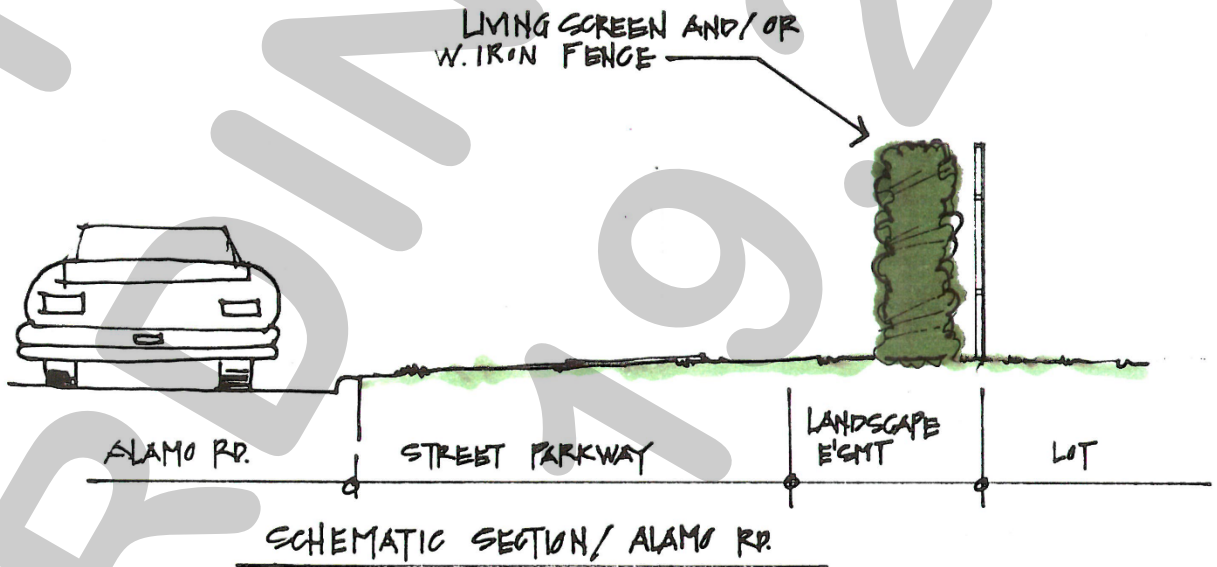


Figure 3: Screening Along Alamo Road



(C) Area 3: 8.0-Acres [Greenbelt and Open Space]: The area identified as Area 3 in Exhibit 'B' of this ordinance shall be preserved as a greenbelt, and shall not be developed for any purpose other than to provide open space for the area identified as Areas 1 & 2 in Exhibit 'B' of this ordinance.

(D) Area 4: 2.96-Acres [General Retail (GR) District]: The area identified as Area 4 in Exhibit 'B' of this ordinance shall be subject to the following requirements:

- (1) Permitted Land Uses. Area 4 shall be limited to the following land uses: [1] *Medical Office Building*, [2] *Office Building*, and [3] *Daycare with Seven (7) or More Children*. These land uses shall be subject to the *Conditional Land Use Standards* stipulated for a property in a General Retail (GR) District as required by Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.
- (2) Density and Dimensional Requirements. Area 4 shall be subject to all of the development standards for a property in a General Retail (GR) District as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the minimum lot depth for a property in Area 4 shall be 83-feet.
- (3) General Overlay District Standards. Area 4 shall be subject to the development requirements contained in Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC); however, only a ten (10) foot landscape buffer will be required along N. Lakeshore Boulevard and E. Fork Road.



MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: January 19, 2021

SUBJECT: Z2020-058; SPECIFIC USE PERMIT FOR AN ACCESSORY BUILDING AT 507 S. CLARK STREET

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Neighborhood Notification Email
Property Owner Notification Map
Property Owner Notification List
Public Notice
Property Owner Notifications
Zoning Exhibit
Applicant's Letter
Property Pictures
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by David LeCour for the approval of an **ordinance** for a *Specific Use Permit (SUP)* for an accessory structure on a 0.50-acre parcel of land identified as Block 107 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 507 S. Clark Street, and take any action necessary (**1st Reading**).

Action Needed

The City Council is being asked to hold a public hearing and [1] approve, [2] approve with condition, or [3] deny the Specific Use Permit (SUP).



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: January 19, 2021
APPLICANT: David LeCour
CASE NUMBER: Z2020-058; *Specific Use Permit for an Accessory Building at 507 S. Clark Street*

SUMMARY

Hold a public hearing to discuss and consider a request by David LeCour for the approval of a Specific Use Permit (SUP) for an accessory structure on a 0.50-acre parcel of land identified as Block 107 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 507 S. Clark Street, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1934 based on the August 25, 1934 Sanborn Map. At some point after August 25, 1934 the subject property was platted as Block 107, B. F. Boydston Addition. According to the City's historic zoning maps, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. This designation changed between January 4, 1972 and May 15, 1983 to Single-Family 7 (SF-7) District based on the May 16, 1983 zoning map. According to the Rockwall County Appraisal District (RCAD) an 884 SF single-family home was constructed on the subject property in 1975. RCAD also indicates there is a 600 SF and a 70 SF accessory building on the subject property; however, according to the applicant these accessory buildings were removed from the subject property after they were damaged by storms in 2019.

PURPOSE

The property owner and applicant -- *David LeCour* -- is requesting the approval of a Specific Use Permit (SUP) to allow the construction of an accessory building that exceeds the maximum square footage permitted for accessory buildings as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 507 S. Clark Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are six (6) parcels of land (*i.e.* 503, 501, 407, 405, 403 S Clark Street), three (3) vacant, three (3) with single-family homes, and all zoned Single-Family 7 (SF-7) District. Beyond this are five (5) single-family homes within the Old Town Rockwall Historic District, zoned Single-Family 7 (SF-7) District. Beyond this is Hartman Street, which is identified as a R2 (*i.e.* residential, two [2] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are eight (8) single-family homes (*i.e.* 509, 511, 513, 515, 601, 603, 605, and 607 S. Clark Street) zoned Two-Family (2F) District. Beyond this are three (3) parcels of land (703, 705, and 709 E. Boydston Avenue) zoned Planned Development District 52 (PD-52) for Two-Family (2F) District land uses. Beyond this is E. Boydston Avenue, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are three (3) parcels of land (*i.e.* 502 and 506 Renfro Street) zoned Single-Family 7 (SF-7) District. Beyond this is Renfro Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Clark Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Mill Co. Subdivision, which is comprised of 14 lots. Six (6) of the lots are zoned Commercial (C) District and eight (8) are zoned Two-Family (2F) District. Beyond this is Sherman Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, survey, and photos requesting to permit a 35-foot by 20-foot (*or 700 SF*) accessory building. The applicant indicated in the Planning and Zoning Commission Work Session meeting on December 29, 2020 that the accessory building's façade will be clad in unpainted corrugated aluminum. The proposed accessory structure will not be set on a permanent foundation (*i.e. no concrete slab foundation*), and will utilize individual posts set in concrete in lieu of framing (*i.e. the structure will be a pole barn*) in much the same way agricultural structure is constructed. The structure will be ~11-feet, 2-inches in total height, and be situated at the rear of the subject property -- *adjacent to the southern property line* -- approximately 79-feet from the rear property line and twelve (12) feet from the side yard property line. Staff should note that the applicant started construction on the structure without a permit, and currently several poles have been erected (*see picture in the attached packet*).

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. In addition, accessory buildings are limited to a maximum height of 15-feet and a minimum setback of three (3) feet from the rear property line and six (6) feet from the side property line. Accessory buildings are required to have a minimum of six (6) feet of separation from any other primary or accessory structure. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)." In addition, the section states that "(a)ll accessory buildings that are not portable accessory buildings require a permanent concrete foundation."

STAFF ANALYSIS

In this case, the applicant's request conforms with the setback and height requirements for accessory buildings; however, the proposed size of the accessory building exceeds the maximum permissible size by 556 SF. Staff performed a review of the aerial imagery of the homes in the surrounding area (*a total of 33 single-family homes are in this area*) and determined that there does not appear to be any accessory buildings in the area of a similar size as to what the applicant is proposing. Staff should also note that 15 of the 33 homes surveyed had accessory structures, with the largest accessory structure observed being a detached garage (*built in 1964*) that is 800 SF. The average size of all accessory structures analyzed is 304 SF, and the average size of the accessory structures excluding detached garages is 182 SF. Staff should also note that the proposed exterior cladding (*i.e. unpainted corrugated aluminum*) does not appear to be compatible with the primary structure, and the foundation is atypical for accessory buildings on residential lots; however, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If this request is approved the applicant must have a surveyor complete a survey of the subject property to ensure the proposed building is not within the 100-floodplain or encroaching any easements. The completion of this survey is listed as a condition of approval. With all this being said, the approval of a Specific Use Permit (SUP) request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On December 22, 2020, staff mailed 85 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Park Place Homeowner's Association (HOA), which is the only HOA/Neighborhood Organizations that is within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted staff had received the following:

- (1) Three (3) property owner notifications from property owners within the notification area (*i.e. within the 500-foot buffer*) in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for a Specific Use Permit (SUP) for an accessory building that exceeds the maximum permissible size, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance; and
 - (b) The *Accessory Building* shall not exceed a maximum size of 700 SF; and
 - (c) The subject property shall not have more than one (1) accessory building.
- (2) A survey of the property must be completed to ensure the proposed building is not within the 100-floodplain or any established easements;
- (3) The applicant will need to apply for a building permit from the Building Inspections Department; and
- (4) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On January 12, 2021, the Planning and Zoning Commission voted to recommend approval of the Specific Use Permit (SUP) by a vote of 5-2, with Commissioners Conway and Womble dissenting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22070-058

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre) ¹
- Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- Final Plat (\$300.00 + \$20.00 Acre) ¹
- Replat (\$300.00 + \$20.00 Acre) ¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre) ¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre) ¹
- Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 507 S. CLARK Rockwall TX, 75087
 Subdivision _____ Lot _____ Block _____
 General Location BETWEEN STORHS + ST. MARY

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	Current Use
Proposed Zoning	Proposed Use
Acreage	Lots [Current] Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> Owner	<u>DAVID LECOUR</u>	<input type="checkbox"/> Applicant	
Contact Person		Contact Person	
Address	<u>507 S. CLARK</u>	Address	
City, State & Zip	<u>Rockwall TX 75087</u>	City, State & Zip	
Phone	<u>972 7724916</u>	Phone	
E-Mail	<u>LECOUR@ATT.NET</u>	E-Mail	

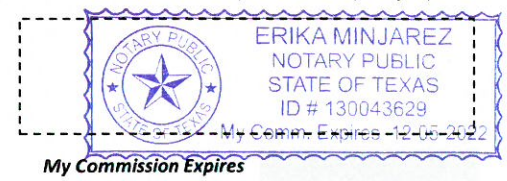
NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared David Christin Lecour [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 17 day of DECEMBER, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 17 day of December, 20 20

Owner's Signature [Signature]
 Notary Public in and for the State of Texas Erika Minjarez





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

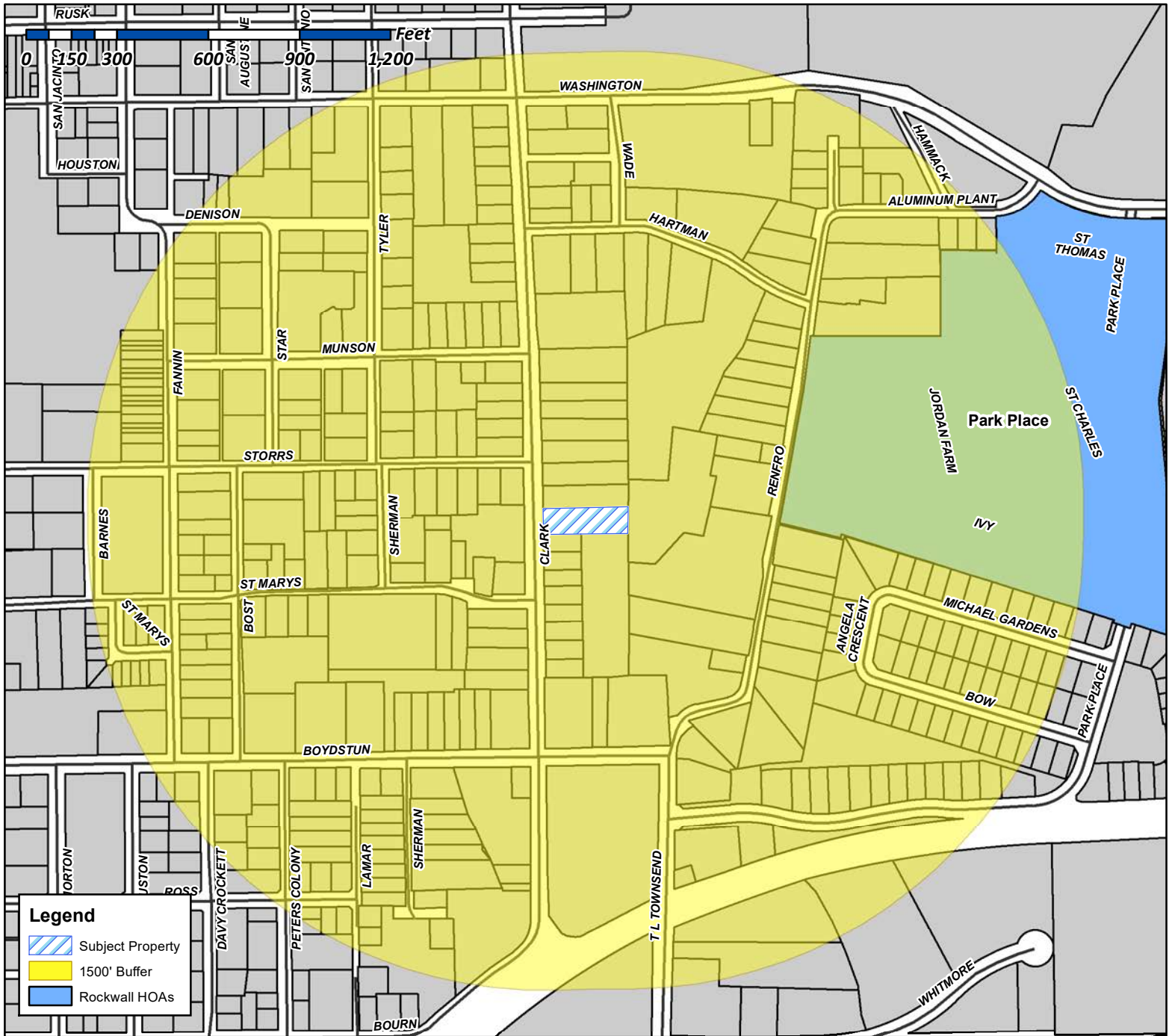
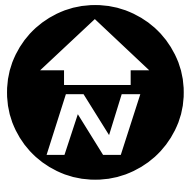




City of Rockwall

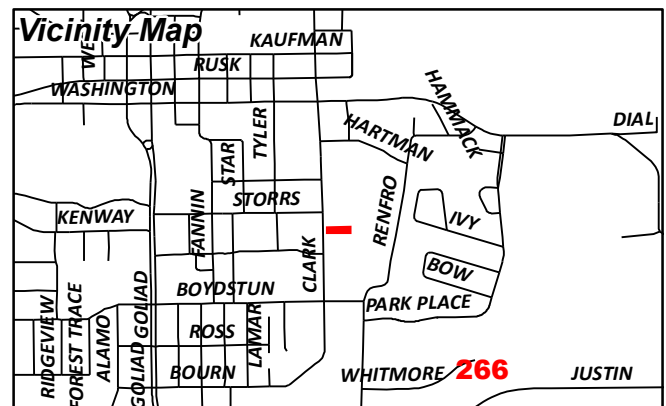
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-058
Case Name: SUP for an Accessory Structure
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 507 S. Clark Street

Date Created: 12/19/2020
For Questions on this Case Call (972) 771-7745



Miller, Ryan

From: Gamez, Angelica
Sent: Tuesday, December 22, 2020 12:13 PM
Cc: Miller, Ryan; Gonzales, David; Lee, Henry
Subject: Neighborhood Notification Program [Z2020-058]
Attachments: Public Notice (12.21.2020).pdf; HOA Map (12.19.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *December 25, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 12, 2021 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 19, 2021 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-058 SUP for an Accessory Structure

Hold a public hearing to discuss and consider a request by David LeCour for the approval of a *Specific Use Permit (SUP)* for an accessory structure on a 0.50-acre parcel of land identified as Block 107 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 507 S. Clark Street, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>

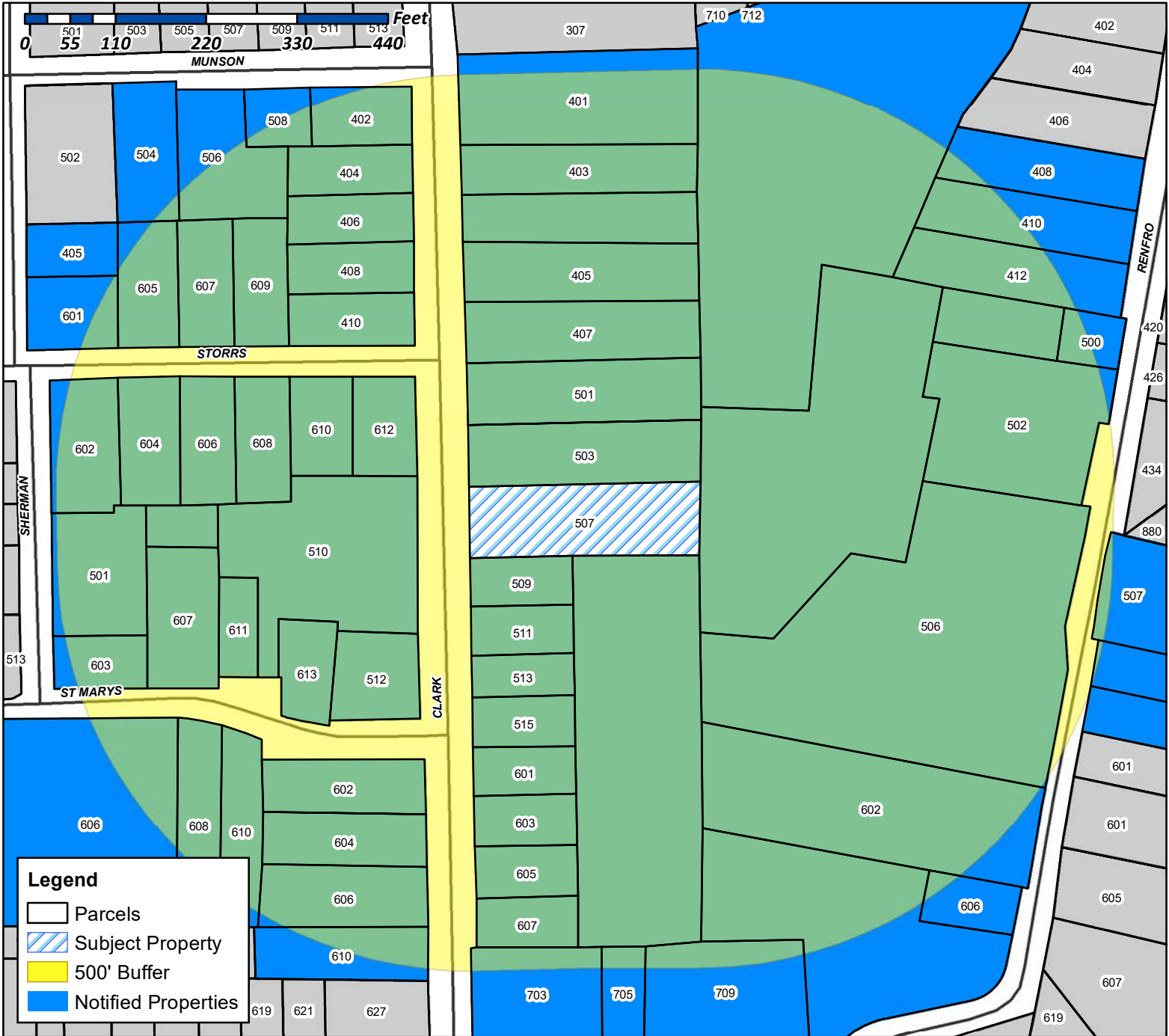
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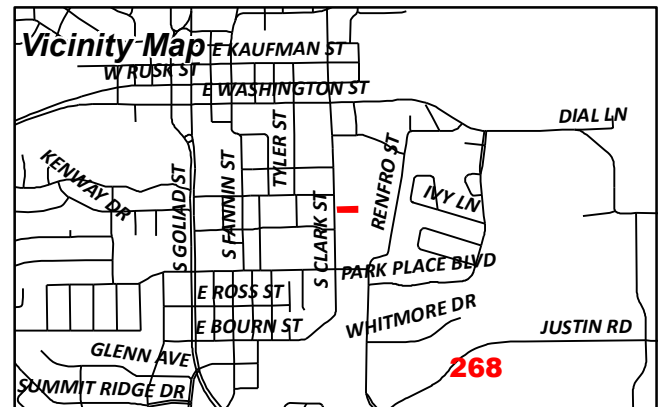
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-058
Case Name: SUP for an Accessory Structure
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 507 S. Clark Street



Date Created: 12/19/2020
 For Questions on this Case Call (972) 771-7745



= RESPONSE RECIEVED

MCCALLUM DARRELL
1 SOAPBERRY LN
ROCKWALL, TX 75087

ANGEL NADA
11014 ITASCA DR
DALLAS, TX 75228

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX 75040

GADDIS DANNY E
12922 EPPS FIELD RD
FARMERS BRANCH, TX 75234

TUTTLE LEON ETUX
1408 DHAKA DR
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
143 STONELEIGH DRIVE
HEATH, TX 75032

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

LOWREY DAVID D
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
215 GRIFFIN AVENUE
FATE, TX 75189

MUNSON PARTNERS 1 LLC
2241 AUBURN AVE
DALLAS, TX 75214

BOWEN CHASE AND
PERRY BOWEN
230 MYERS ROAD
HEATH, TX 75032

GLASS JO KAY HARRIS
301 MEADOWDALE
ROCKWALL, TX 75087

HAMANN KRISTIE M
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
3299 ROCHELLE RD
ROCKWALL, TX 75032

BRYAN KYLE & HALEY BROOKE
401 E KAUFMAN ST
ROCKWALL, TX 75087

PITTMAN MICHAEL J & JANIS A
401 S CLARK ST
ROCKWALL, TX 75087

PANTOJA ANGEL & DENESYN FIGUEROA
402 S CLARK STREET
ROCKWALL, TX 75087

PITTMAN MICHAEL J JR & JANIS
403 S CLARK ST
ROCKWALL, TX 75087

TUTTLE LEON ETUX
404 S CLARK ST
ROCKWALL, TX 75087

LIVINGSTON JUSTIN R & BROOKE D
405 S CLARK ST
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA
405 TYLER ST
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
406 S CLARK ST
ROCKWALL, TX 75087

BOWEN CHASE AND
PERRY BOWEN
407 S CLARK ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
408 RENFRO ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

GADDIS CAMILLE D
408 SOUTH CLARK STREET
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
410 RENFRO ST
ROCKWALL, TX 75087

SIMS CHRIS AND TERESA
410 S CLARK ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
412 RENFRO ST
ROCKWALL, TX 75087

RICHARD HARRIS AND JUDY HARRIS FAMILY
TRUST
RICHARD AND JUDY HARRIS- TRUSTEES
500 RENFRO ST
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
501 SHERMANST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
501 S CLARK
ROCKWALL, TX 75087

SAMPLES ELVA NELL
502 RENFRO ST
ROCKWALL, TX 75087

BRYAN KYLE & HALEY BROOKE
503 S CLARK
ROCKWALL, TX 75087

EARNHEART JOHN L
504 MUNSON ST
ROCKWALL, TX 75087

EARNHEART JOHN L
506 MUNSON ST
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
506 RENFROST
ROCKWALL, TX 75087

HITT FLOYD ESTATE
DOROTHY SUE HITT MATTHIES AND
507 RENFRO ST
ROCKWALL, TX 75087

LECOUR DAVID & RENEE
507 S CLARK ST
ROCKWALL, TX 75087

MUNSON PARTNERS 1 LLC
508 MUNSON ST
ROCKWALL, TX 75087

HAMANN KRISTIE M
509 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
510 S CLARK
ROCKWALL, TX 75087

HAMANN KRISTIE M
511 S CLARK ST
ROCKWALL, TX 75087

DEL BOSQUE RODOLFO
512 S CLARK
ROCKWALL, TX 75087

HOGUE ALLEN
513 RIDGEVIEW DR
ROCKWALL, TX 75087

JIMENEZ ANTONIO P CRUZ AND
NORMA L CRUZ HERNANDEZ
513 S CLARK ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
515 S CLARK ST
ROCKWALL, TX 75087

TOVAR LUIS & MARICELA
601 STORRS ST
ROCKWALL, TX 75087

GLASS JO KAY HARRIS
601 S CLARK ST
ROCKWALL, TX 75087

HOGUE CAROLYN SUE
602 RENFRO
ROCKWALL, TX 75087

JAMGOCHIAN MICHAEL W
602 STORRS STREET
ROCKWALL, TX 75087

GROOVYS BUSINESS PROPERTIES, LLC - SERIES
602 S CLARK
602 S CLARK ST
ROCKWALL, TX 75087

COWAN JAMES MICHAEL AND PHYLLIS DIANE
603 ST MARYS ST
ROCKWALL, TX 75087

RIVERA SARA ELIA
603 S CLARK ST
ROCKWALL, TX 75087

JONES PEGGY
604 STORRS ST
ROCKWALL, TX 75087

J&M WARDELL HOLDINGS LLC
604 S CLARK ST
ROCKWALL, TX 75087

CASTILLO JUAN JAIME
605 S CLARK ST
ROCKWALL, TX 75087

DAVIS JIMMY JACK
605 STORRS ST
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
606 RENFRO ST
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

DAVIS AMY M AND WESLEY D
606 STORRS STREET
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
606 S CLARK ST
ROCKWALL, TX 75087

STARK ROBERT SCOTT
607 SAINT MARY ST
ROCKWALL, TX 75087

OLIVO DANIELA AND ALFRED
607 SOUTH CLARK STREET
ROCKWALL, TX 75087

HALDEMAN MICHAEL
607 STORRS ST
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
608 ST MARYS ST
ROCKWALL, TX 75087

LOWREY DAVID D
608 STORRS ST
ROCKWALL, TX 75087

GADDIS DANNY E
609 STORRS ST
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

JOHNSTON SHERRI A
610 STORRS ST
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
610 S CLARK ST
ROCKWALL, TX 75087

H & M TOOL AND DIE CO
611 SAINT MARY ST
ROCKWALL, TX 75087

ANGEL NADA
612 STORRSST
ROCKWALL, TX 75087

MCCALLUM DARRELL
613 ST MARYS PL
ROCKWALL, TX 75087

HOGUE ALLEN
703 E BOYSTUN AVE
ROCKWALL, TX 75087

HOGUE ALLEN
705 E BOYDSTUN AVE
ROCKWALL, TX 75087

HOGUE MIKE AND VICKY
709 E BOYDSTUN AVE
ROCKWALL, TX 75087

STARK ROBERT CLAYTON
710 AGAPE ST
ROCKWALL, TX 75087

STARK ROBERT C
710 AGAPE ST
ROCKWALL, TX 75087

WARDELL JOHN P AND JULIE ANN C
880 IVY LANE
ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C
880 IVY LN
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

HITT FLOYD ESTATE
DOROTHY SUE HITT MATTHIES AND
LYNDEL RAY TIPTON JR INDEPENDENT CO
EXECUTORS 7836 YAMINI DR
DALLAS, TX 75230

DEL BOSQUE RODOLFO
PO BOX 2437
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-058: Specific Use Permit for Accessory Structure

Hold a public hearing to discuss and consider a request by David LeCour for the approval of a Specific Use Permit (SUP) for an accessory structure on a 0.50-acre parcel of land identified as Block 107 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 507 S. Clark Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 12, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-058: Specific Use Permit for Accessory Structure

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-058: Specific Use Permit for Accessory Structure

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
 I am opposed to the request for the reasons listed below.

Name: Richard Harris
Address: 210 Glenn Ave.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

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Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2020-058: Specific Use Permit for Accessory Structure

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name: Wes + Amy Davis
Address: 606 Storrs St Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2020-058: Specific Use Permit for Accessory Structure**Please place a check mark on the appropriate line below:** I am in favor of the request for the reasons listed below. I am opposed to the request for the reasons listed below.

Not opposed to an accessory structure.

Name:

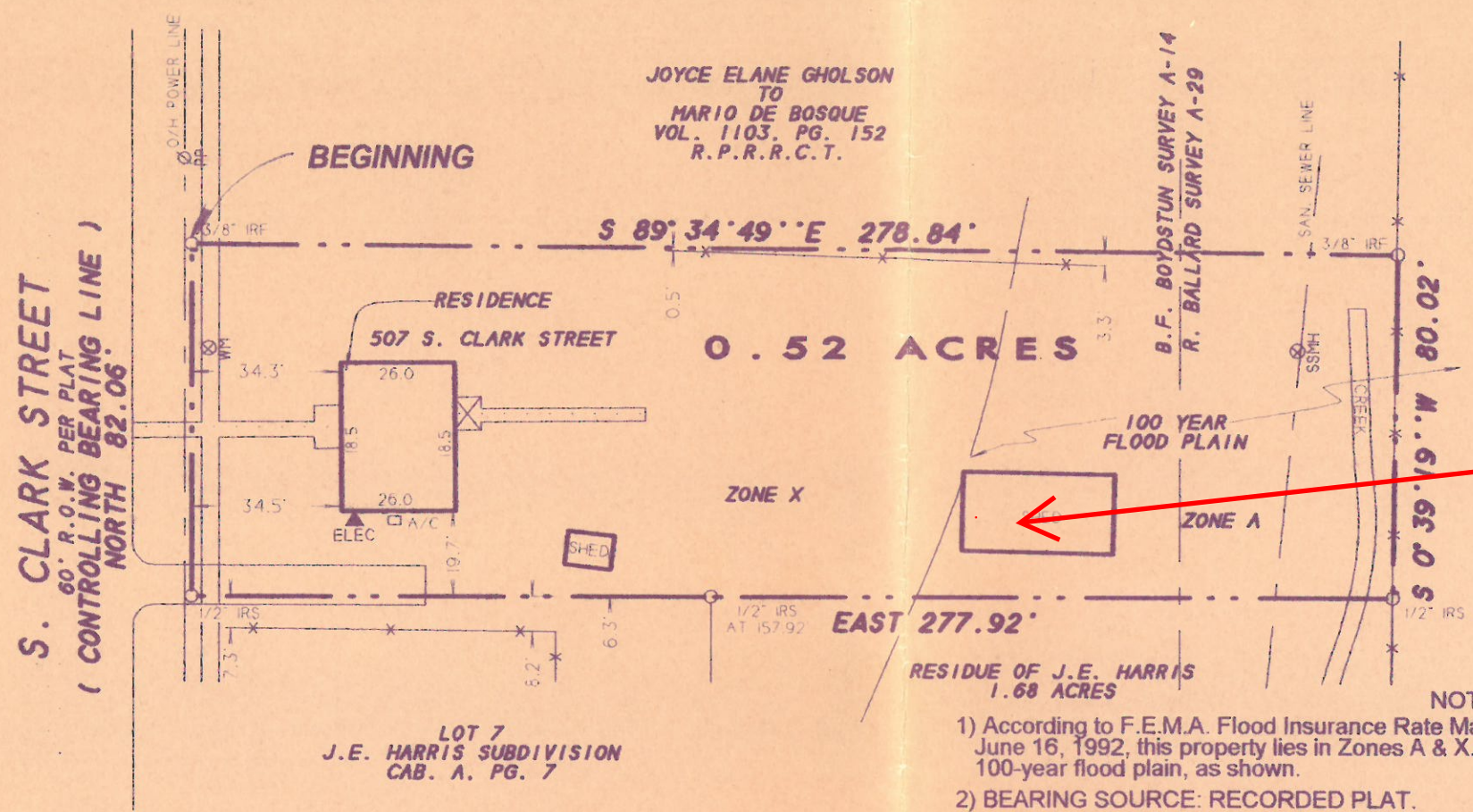
Sherri Johnston

Address:

610 Storrs Street

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Proposed Accessory Structure

DESCRIPTION

All that certain lot, tract or parcel of land situated in the B.F. BOYDSTUN SURVEY, ABSTRACT NO. 14 and the R. BALLARD SURVEY, ABSTRACT NO. 29, City of Rockwall, Rockwall County, Texas, and being a part of that tract of land as described in a Warranty deed from Frank M. Jordan and wife, Lela Jordan to J.E. Harris, dated October 20, 1950 and being recorded in Volume 46, Page 557 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 3/8" iron rod found for corner in the East boundary line of S. Clark Street, said point being at the Southwest corner of a tract of land as described in a Warranty deed from Joyce Elaine Gholson to Mario De Bosque, as recorded in Volume 1103, Page 152 of the Real Property Records of Rockwall County, Texas;

THENCE S. 89 deg. 34 min. 49 sec. E. along the common line between said De Bosque and Harris tracts, a distance of 278.84 feet to a 3/8" iron rod found for corner at the Southeast corner of said De Bosque tract;

THENCE S. 00 deg. 39 min. 19 sec. W. a distance of 80.02 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE WEST, at 157.92 feet pass a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the Northeast corner of Lot 7, J.E. HARRIS SUBDIVISION, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet A, Slide 7 of the Plat Records of Rockwall County, Texas, and continuing for a total distance of 277.92 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the East right-of-way line of S. Clark Street;

THENCE NORTH (Controlling bearing line) along the East along said right-of-way line, a distance of 82.06 feet to the POINT OF BEGINNING and containing 0.52 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zones A & X. Part of this property does appear to lie within a 100-year flood plain, as shown.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for DAVID LECOUR at 507 S. Clark Street, Rockwall, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 9th day of September, 1999.

Harold D. Fetty III
 Harold D. Fetty III, R.P.L.S. No. 5034



SURVEY DATE SEPTEMBER 9, 1999
 SCALE 1" = 40' FILE # 990948
 CLIENT LECOUR GF # NONE

ROCKWALL SURVEYING COMPANY, INC.
 306 E. WASHINGTON, SUITE C ROCKWALL, TEXAS 76087 PHONE (972) 772-5434 FAX (972) 772-5443

DEAR SIR OR MADAM

ON APRIL 6 2018 A STORM CAME THROUGH
ROCKWALL DAMAGING THE NORTH SIDE OF
MY HOUSE AND DESTROYING THE ROOF AND BARN

THE ROOF WAS REPLACED IN MAY 2018,
BUT THE INSURANCE ONLY PAID FOR THE
BARN AND SIDING MATERIAL, NO LABOR.

I GOOGLED SIDING AND SAW I COULD DO IT.
I FINISHED THE SIDING IN JUNE 2019

I STARTED TEARING DOWN THE BARN IN SEPT. 2019
AND FINISHED PUTTING THE POLES IN THE GROUND.

ON DEC. 4 I WENT TO CITY HALL WITH SOME
QUESTIONS ABOUT STORAGE SHEDS. DURING THAT
MEETING I FOUND I WAS NOT IN COMPLIANCE
WITH A CODE BY NOT HAVING THE BARN BUILT
WITHIN 12 MONTHS OF THE DAMAGING EVENT.

IF I HAD KNOWN THAT EVERYTHING WOULD
HAVE BEEN DONE, IF ALLOWED TO FINISH
IT WOULD BE COMPLETE IN 5 MONTHS

RESPECTFULLY

DAVID LECOUR



278



279



280

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.50-ACRE PARCEL OF LAND, IDENTIFIED AS BLOCK 107, B. F. BOYDSTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from David LeCour for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 0.50-acre parcel of land described as Block 107 of the B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 507 S. Clark Street, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and with the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan depicted in *Exhibit 'B'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 700 SF.
- (3) The subject property shall not have more than one (1) accessory building.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a *Building Permit*, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1TH DAY OF FEBRUARY, 2021.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: January 19, 2021

2nd Reading: February 1, 2021

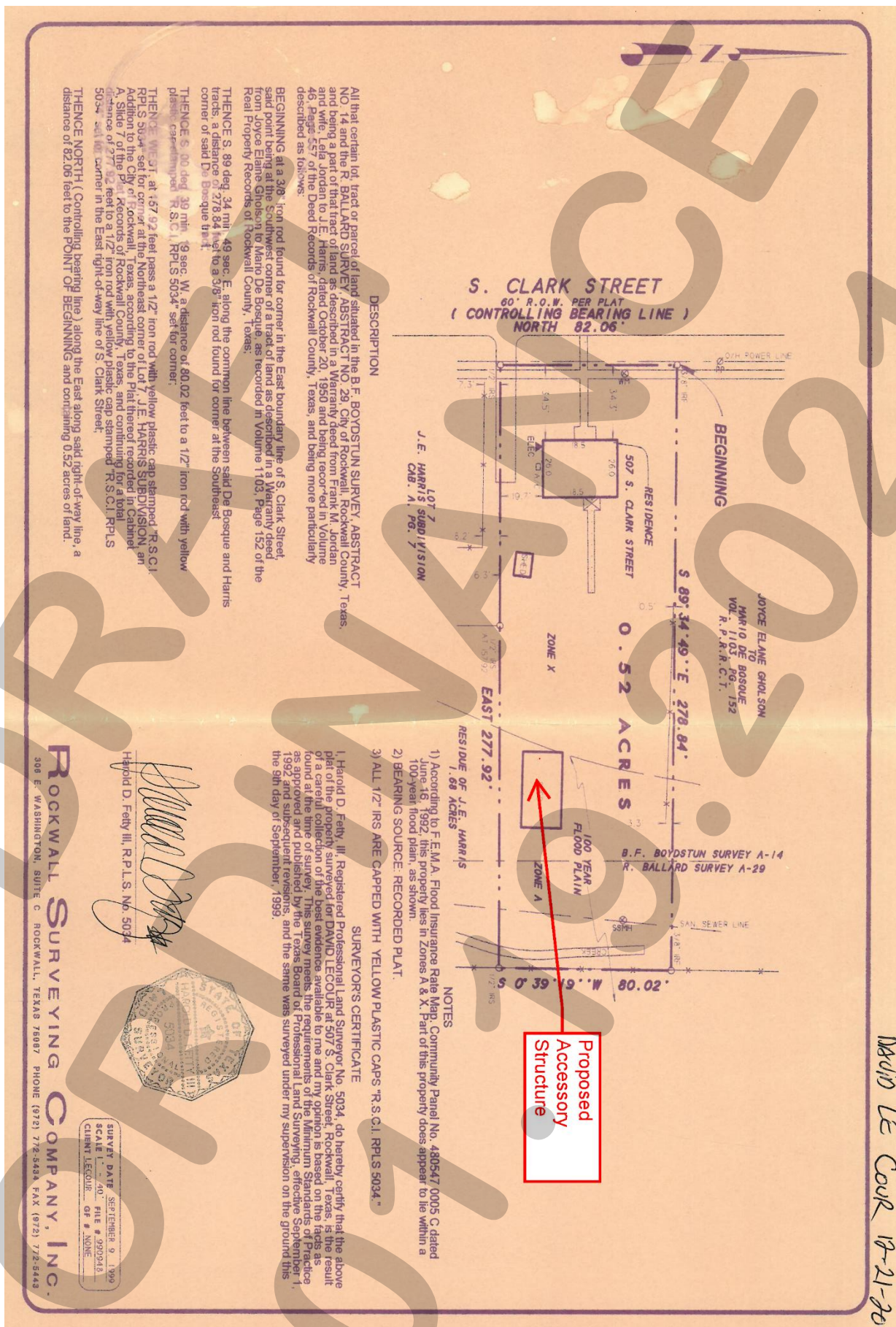
Exhibit 'A'
Zoning Exhibit

Address: 507 S. Clark Street

Legal Description: Block 107, B. F. Boydston Addition



**Exhibit 'B':
Site Plan**





MEMORANDUM

TO: Rick Crowley, City Manager

CC: Honorable Mayor and City Council

FROM: Ryan Miller, Director of Planning and Zoning

DATE: January 19, 2021

SUBJECT: Z2020-060; ZONING CHANGE FROM AGRICULTURAL (AG) DISTRICT AND SINGLE-FAMILY ESTATE 2.0 (SFE- 2.0) DISTRICT TO SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT

Attachments

Case Memo
Development Application
Location Map
HOA Notification Map
Property Owner Notification Map
Property Owner Notification List
Public Notice
Zoning Exhibit
Draft Ordinance

Summary/Background Information

Hold a public hearing to discuss and consider a request by Matthew Deyermond of TC Planning and Design Group on behalf of the owners Donald Wallace for the approval of a n **ordinance** for a *Zoning Change* from an Agricultural (AG) District and a Single-Family Estate 2.0 (SFE-2.0) District to a Single-Family Estate 1.5 (SFE-1.5) District on a 8.17-acre portion of a larger 123.00-acre tract of land identified as Tract 44-01 and all of Tracts 45-02 & 45-07 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Single-Family Estate 2.0 (SFE-2.0) District, generally located on the north side of H. Wallace Lane north of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary (**1st Reading**).

Action Needed

The City Council is being asked to hold a public hearing and [1] approve, [2] approve with condition, or [3] deny the Zoning Change.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: January 19, 2021
APPLICANT: Matthew Deyermond; *TC Planning and Design Group*
CASE NUMBER: Z2020-060; *Zoning Change from Agricultural (AG) District and Single-Family Estate 2.0 (SFE-2.0) District to Single-Family Estate 1.5 (SFE-1.5) District*

SUMMARY

Hold a public hearing to discuss and consider a request by Matthew Deyermond of TC Planning and Design Group on behalf of the owners Donald Wallace for the approval of a Zoning Change from an Agricultural (AG) District and a Single-Family Estate 2.0 (SFE-2.0) District to a Single-Family Estate 1.5 (SFE-1.5) District on a 8.17-acre portion of a larger 123.00-acre tract of land identified as Tract 44-01 and all of Tracts 45-02 & 45-07 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Single-Family Estate 2.0 (SFE-2.0) District, generally located on the north side of H. Wallace Lane north of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

BACKGROUND

The subject property is an 8.17-acre portion of a larger 123.00-acre tract of land that is situated within the W.W. Ford Survey, Abstract No. 80. This property is generally located at the northwest quadrant of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and is commonly referred to as the *Wallace Tract*. The City Council approved *Ordinance No. 08-13*, annexing the subject property on February 18, 2008. At the time of annexation, the subject property was zoned Agricultural (AG) District. On August 3, 2020, the City Council approved a zoning change [Case No. Z2020-029] for a two (2) acre tract of land from an Agricultural (AG) District to a Single-Family Estate 2.0 (SFE-2.0) District. This tract of land has been incorporated into the 8.17-acre subject property that the applicant is requesting to rezone to a Single-Family Estate 1.5 (SFE-1.5) District.

PURPOSE

On December 18, 2020, the applicant -- *Matthew Deyermond of TC Planning and Design* -- submitted an application requesting to change the zoning of the *subject property* from an Agricultural (AG) District and a Single-Family Estate 2.0 (SFE-2.0) District to a Single-Family Estate 1.5 (SFE-1.5) District. The applicant has stated the purpose of the rezoning request is to establish three (3) single-family residential parcels of land.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the northwest quadrant of the intersection of H. Wallace Lane and Horizon Road [FM-3097]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the Comprehensive Plan. Beyond this thoroughfare is the eastside of the Lake Rockwall Estates subdivision, which is zoned Planned Development District 75 (PD-75) [Ordinance No. 16-07] for Single-Family 7 (SF-7) District land uses. Adjacent to this property, on the eastside of Lake Rockwall Estates, is an 84.0-acre vacant tract of land being a portion of a larger 144.0-acre tract of land identified as Tract 3 of the J. R. Johnson Survey, Abstract No. 128. This property is zoned Agricultural (AG) District.

South: Directly south of the subject property is Horizon Road [FM-3097], which is designated as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is the City's corporate boundaries

followed by the City of Heath. On the eastside, south of the subject property is H. Wallace Lane, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this are several residential land uses zoned Agricultural (AG) and Single-Family Estate 1.5 & 2.0 (SFE-1.5 & SFE-2.0) Districts. In addition, there are several office buildings zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses. These uses are a part of the Alliance Addition.

East: Directly east of the subject property is H. Wallace Lane, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this are the Oaks of Buffalo Way and Willowcrest Estates Subdivisions, which consist of 91 single-family residential lots. These subdivisions are zoned Single-Family Estate 1.5 (SFE-1.5) District and Planned Development District 51 (PD-51) for single-family estate land uses.

West: Directly west of the subject property are several non-residential properties zoned Commercial (C) District. Beyond this is Ranch Trail Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting to rezone the 8.17-acre portion of subject property from an Agricultural (AG) District and a Single-Family Estate 2.0 (SFE-2.0) District to a Single-Family Estate 1.5 (SFE-1.5) District for the purpose of constructing single-family residential homes on three (3) individual lots. It should be noted that the applicant will be required to final plat the 8.17-acre tract into three (3) buildable lots in order to construct the homes.

INFRASTRUCTURE

Based on the applicant's submittal the following infrastructure is required:

Water Improvements

The Water Distribution Master Plan indicates that a 12-inch waterline will be constructed in the front of these properties in the future. The applicant will be required to dedicate a 20-foot utility easement at the front property line at the time of platting in order to accommodate the installation of the water line.

Sewer Improvements

Since City sanitary sewer lines are greater than 100-feet from the subject property and the proposed lot will be greater than 1½-acre in size, the applicant will need to provide an On-Site Sewage Facility (OSSF) meeting the City of Rockwall and Rockwall County's standards.

Roadways

The Master Thoroughfare Plan contained in the Comprehensive Plan indicates H. Wallace Lane is identified as a *Minor Collector*, which requires a minimum of a 60-foot right-of-way with a 41-foot, *back-to-back* roadway. The applicant is responsible dedicating any additional right-of-way (*i.e. as measured 30-feet from the centerline of the roadway*) necessary for this roadway at the time final plat.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.02, *Single-Family Estate 1.5 (SFE-1.5) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family Estate 1.5 (SFE-1.5) District is the proper zoning classification for rural, estate lots that are a minimum of 1½-acres in size ... (t)hese lots are typically in the City's hinterland, away from higher density residential developments and non-residential developments; however, they may be used in areas closer to the periphery of the City's developed areas, where they will serve as a logical transition to an estate or rural area." In this case, this portion of the *Wallace Tract (i.e. 259.924-acres)* was annexed into the City in 2008 and is primarily an agriculturally used property. Staff should note that the majority of the properties adjacent to H. Wallace Lane are zoned Agricultural (AG) District, with the exception of two (2) properties that were rezoned in the past creating four (4) single-family estate lots (*i.e. SFE-2.0 & SFE-1.5*). If the applicant's zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for properties in a Single-Family Estate 1.5 (SFE-1.5) District, which are summarized as follows:

TABLE 1: SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT DEVELOPMENT STANDARDS

Number of Dwelling Units/Lot	1.0
Number of Dwelling Units/Acre	1.0
Minimum Dwelling Unit	2,000 SF
Minimum Lot Area	65,340 SF
Minimum Lot Width	150-Feet
Minimum Lot Depth	250-Feet
Minimum Front Yard Setback	50-Feet
Minimum Rear Yard Setback	10-Feet
Minimum Side Yard Setback	25-Feet
Between Buildings	10-Feet
Building Height	36-Feet
Maximum Lot Coverage	35%
Required Parking Spaces	2

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the *Southwest Residential District* and is designated for Low Density Residential land uses. The applicant's request, to change the zoning of the subject property from an Agricultural (AG) District and Single-Family Estate 2.0 (SFE-2.0) District to a Single-Family Estate 1.5 (SFE-1.5) District, is in conformance with the Low Density Residential designation. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to "... (p)reserve the City's current residential to non-residential land use ratio (i.e. 80% Residential; 20% Commercial) in order to maintain a balance mix of land uses for fiscal sustainability ..." [Section 02.01; CH. 1; Page 1-1]. The *Land Use Plan* contained in the Comprehensive Plan was created to guide the City toward the desired 80% residential to 20% non-residential land use balance. Currently, the land use balance is at 75.90% residential land uses to 24.10% non-residential land uses. Since this request is in conformance with the *Land Use Plan*, the land use ratio will remain unchanged if approved.

NOTIFICATIONS

On December 22, 2020, staff notified nine (9) property owners and occupants within 500-feet of the subject property. There are no Homeowners Association's (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the HOA/Neighborhood Notification Program. At the time this report was written, staff had not received any notices regarding the applicant's request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant's request for to rezone the subject property from an *Agricultural (AG) District* and a *Single-Family Estate 2.0 (SFE 2.0) District* to a *Single-Family Estate 1.5 (SFE-1.5) District*, then staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On January 12, 2021, the Planning and Zoning Commission approved a motion to recommend approval of the zoning change from an *Agricultural (AG) District* and a *Single-Family Estate 2.0 (SFE 2.0) District* to a *Single-Family Estate 1.5 (SFE-1.5) District* by a vote of 7-0.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 330 Wallace Lane

Subdivision AB 0080 WW FORD

Lot TR 45-07 Block _____ Acres 8.17

General Location H Wallace Lane + Collins Road

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning A Current Use Residential + A

Proposed Zoning SFE 1.5 Proposed Use Residential

Acreage 8.17 Lots [Current] 1 Lots [Proposed] 3

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner Donald Wallace

Applicant TC Planning & Design Group

Contact Person Matthew Deyernand

Contact Person Matthew Deyernand

Address 330 H Wallace Lane

Address 550 E. Central Ave

City, State & Zip Rockwall TX 75082

City, State & Zip Dallas Texas 75217

Phone 214-415-1882

Phone 214-434-6538

E-Mail donald.j.wallace@gmail.com

E-Mail tcpermitting@gmail.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Donald Wallace [Owner] the undersigned, who stated the information on this application to be true and certified the following:

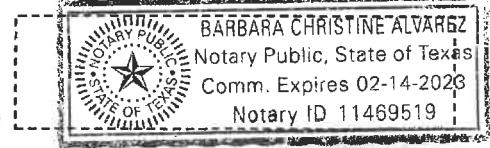
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 335, to cover the cost of this application, has been paid to the City of Rockwall on this the 18th day of December, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 18th day of December, 2020.

Owner's Signature

Donald Wallace
B.C. Alvarez

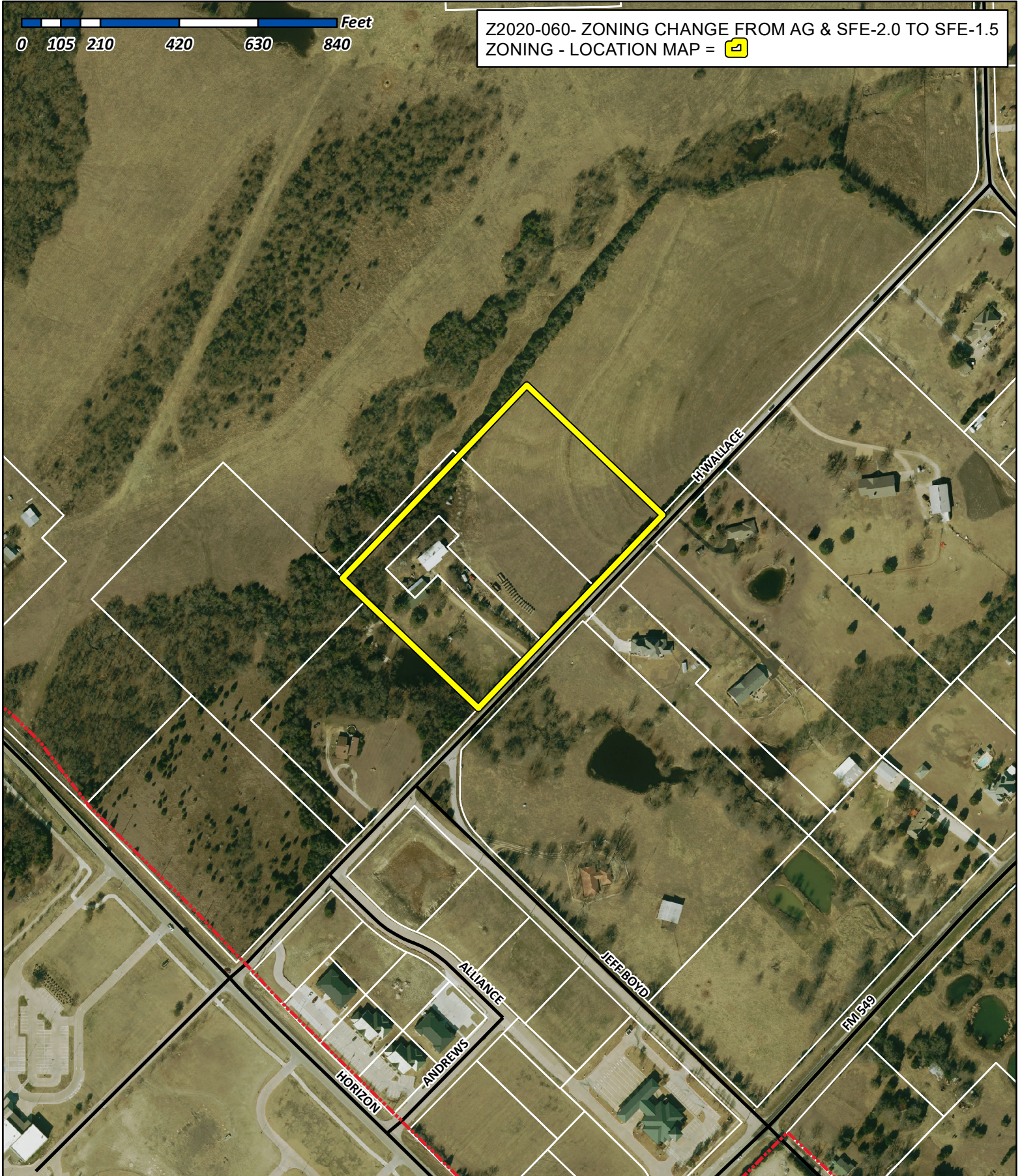
Notary Public in and for the State of Texas



My Commission Expires

0 105 210 420 630 840 Feet

Z2020-060- ZONING CHANGE FROM AG & SFE-2.0 TO SFE-1.5
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

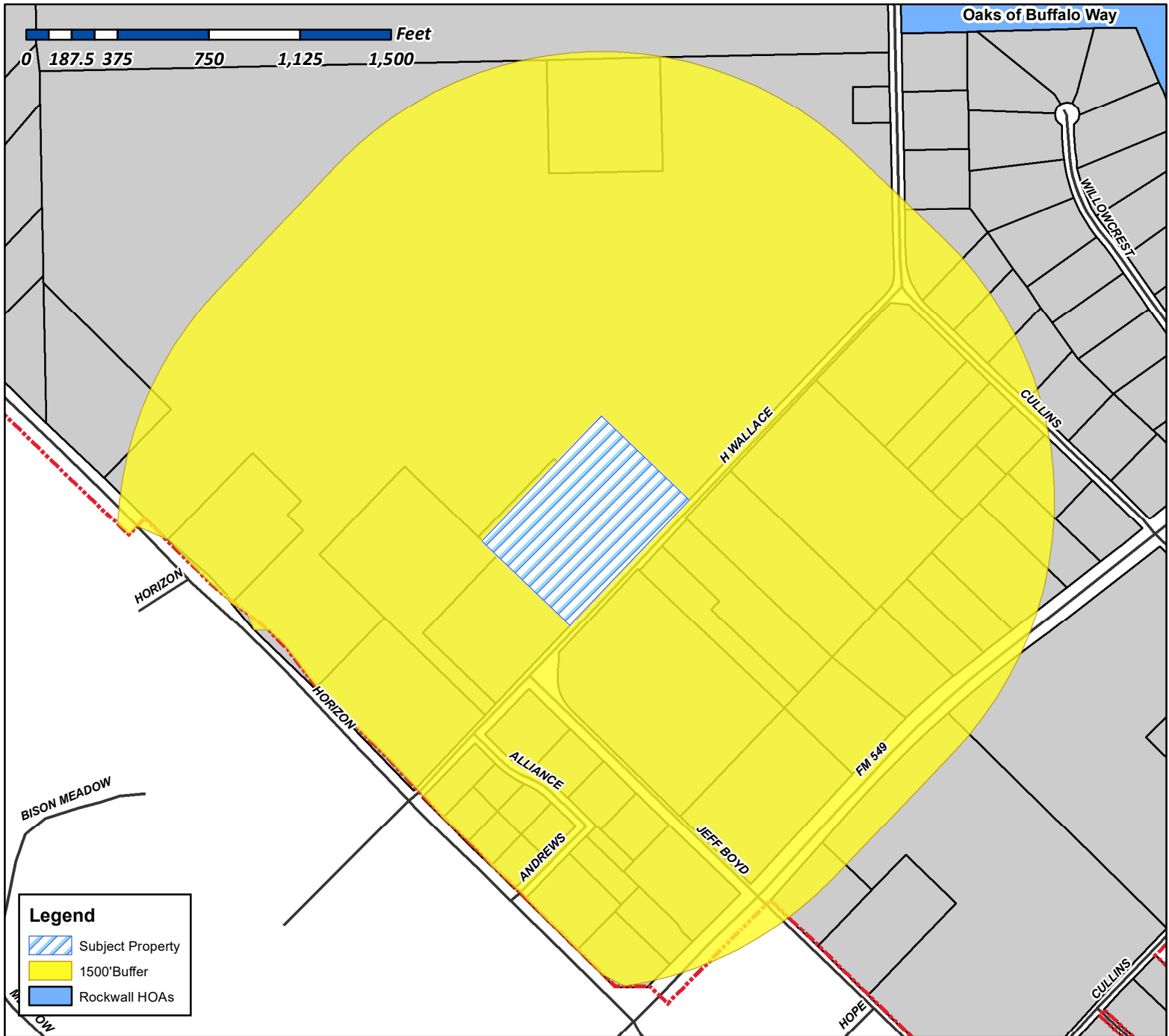
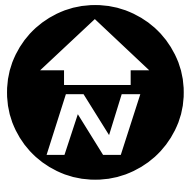




City of Rockwall

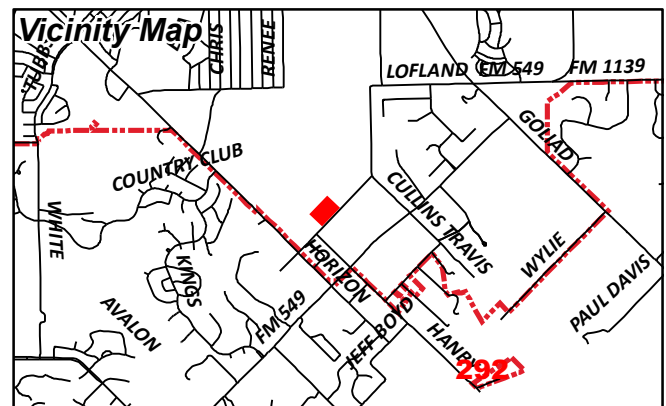
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2020-060
Case Name: Zoning Change from AG to SFE-1.5
Case Type: Zoning
Zoning: Agricultural (AG) District and Single-Family Estate 2.0 (SFE-2.0) District
Case Address: 330 H. Wallace Lane

Date Created: 12/19/2020
For Questions on this Case Call (972) 771-7745

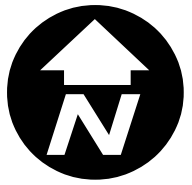




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

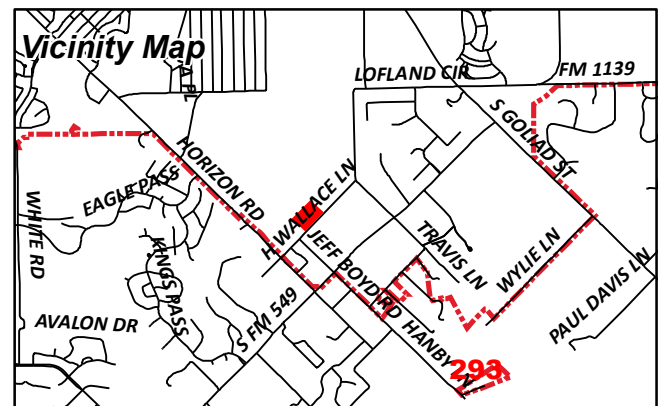
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Case Number: Z2020-060
Case Name: AG & SFE-2.0 to SFE-1.5
Case Type: Zoning
Zoning: Agricultural (AG) District and Single-Family Estate 2.0 (SFE-2.0) District
Case Address: 330 H. Wallace Lane

Date Created: 12/19/2020

For Questions on this Case Call (972) 771-7745



HUNT JACKSON W JR
191 JEFF BOYD RD
ROCKWALL, TX 75032

MORTON MARGARET ANNE WALLACE
224 H WALLACE LN
ROCKWALL, TX 75032

WALLACE DONALD J & CATHERINE
330 H WALLACE LN
ROCKWALL, TX 75032

KRECEK RICHARD L AND JANETTE C
405 H WALLACE LN
ROCKWALL, TX 75032

PALOMBA LISA
421 H WALLACE LN
ROCKWALL, TX 75032

WILCK PAUL J JR
463 H WALLACE LN
ROCKWALL, TX 75032

MCCOSH GORDON ETUX
529 H WALLACE LN
ROCKWALL, TX 75032

WALLACE LAND PARTNERS L P
6271 HORIZON RD
ROCKWALL, TX 75032

ROCKWALL RENTAL PROPERTIES LP
PO BOX 818
TERRELL, TX 75160

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-060: Zoning Change from AG to SFE-1.5

Hold a public hearing to discuss and consider a request by Matthew Deyermond of TC Planning and Design Group on behalf of the owners Donald Wallace for the approval of a Zoning Change from an Agricultural (AG) District and a Single-Family Estate 2.0 (SFE-2.0) District to a Single-Family Estate 1.5 (SFE-1.5) District on a 8.17-acre portion of a larger 123.00-acre tract of land identified as Tract 44-01 and all of Tracts 45-02 & 45-07 of the W. W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Single-Family Estate 2.0 (SFE-2.0) District, generally located on the north side of H. Wallace Lane north of the intersection of H. Wallace Lane and Horizon Road [FM-3097], and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 12, 2021 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 19, 2021 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 19, 2021 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2020-060: Zoning Change from AG to SFE-1.5

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



SURVEY PLAT



APPROX. LOCATION
ZONE A 100YR AS
SCALED FROM FEMA MAP
DATED 09/26/2008

Know what's below.
Call before you dig.

BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 330 & 340 H. WALLACE LANE, in the city of ROCKWALL, ROCKWALL COUNTY Texas.

TRACT 1:
STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in the WILLIAM W. FORD SURVEY, Abstract No. 80, in Rockwall County, Texas, being a portion of a tract of land conveyed to Donald J. Wallace (hereinafter referred to as "Wallace tract 750"), as recorded in Volume 177, Page 750, of the Deed Records of Rockwall County, Texas, and all of a tract of land conveyed to Donald J. & Catherine Wallace, as recorded in Volume 6568, Page 258, of the Deed Records of Rockwall County, Texas, as shown on survey, and being more particularly described by metes and bounds as follows:

BEGINNING at a PK nail set for corner, being the South corner of said "Wallace tract 750", also being the East corner of a tract of land conveyed to Billy R. and Margaret Morton, as recorded in Volume 3603, Page 1, of the Deed Records of Rockwall County, Texas, and in the approximate center line of H. Wallace Lane;

THENCE North 46 degrees 20 minutes 56 seconds West, at a distance of 361.50 feet passing the North corner of said Morton tract, said corner also being the Easternmost corner of a tract of land conveyed to Margaret Wallace Morton as recorded in Volume 180, Page 592, of the Deed Records of Rockwall County, Texas, continuing for a total distance of 500.00 feet to a 3/8 inch iron rod found for corner, being the West corner of said "Wallace tract 750";

THENCE North 43 degrees 39 minutes 04 seconds East, a distance of 331.22 feet to 1/2 inch yellow-capped iron rod set for corner, being on the Northwest line of said "Wallace tract 750";

THENCE South 46 degrees 20 minutes 56 seconds East, a distance of 500.00 feet to a PK nail set for corner, being in the approximate center line of H. Wallace Lane;

THENCE South 43 degrees 39 minutes 04 seconds West, a distance of 331.22 feet to the PLACE OF BEGINNING and containing 165,611.50 square feet or 3.802 acres of land.

TRACT 2:
STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in the WILLIAM W. FORD SURVEY, Abstract No. 80, in Rockwall County, Texas, and being a portion of a tract of land conveyed to Donald J. Wallace (hereinafter referred to as "Wallace tract 750"), as recorded in Volume 177, Page 750, of the Deed Records of Rockwall County, Texas, and a portion of a tract of land conveyed to Donald J. Wallace, as recorded in Volume 177, Page 570 (hereinafter referred to as "Wallace tract 570"), of the Deed Records of Rockwall County, Texas, as shown on survey, and being more particularly described by metes and bounds as follows:

COMMENCING at a PK nail set for corner, being the South corner of said "Wallace tract 750", also being the East corner of a tract of land conveyed to Billy and Margaret Morton, as recorded in Volume 3603, Page 1, of the Deed Records of Rockwall County, Texas, and in the approximate center line of H. Wallace Lane;

THENCE North 43 degrees 39 minutes 04 seconds East, a distance of 331.22 feet to a PK nail set for corner, being on the Southeast line of said "Wallace tract 750," and being in the approximate center line of H. Wallace Lane, and being the POINT OF BEGINNING;

THENCE North 46 degrees 20 minutes 56 seconds West, a distance of 500.00 feet to a PK nail set for corner, being in the Northwest line of said "Wallace tract 750";

THENCE North 43 degrees 39 minutes 04 seconds East, at a distance of 119.28 feet passing the North corner of said "Wallace tract 750," also being the East corner of said "Wallace tract 570," continuing a total distance of 180.32 feet to 1/2 inch yellow-capped iron rod set for corner, being on the Northwest line of said "Wallace tract 570";

THENCE South 46 degrees 20 minutes 56 seconds East, a distance of 500.00 feet to a PK nail set for corner, being in the approximate center line of H. Wallace Lane;

THENCE South 43 degrees 39 minutes 04 seconds West, a distance of 180.32 feet to the PLACE OF BEGINNING and containing 90,159 square feet or 2.07 acres of land.

TRACT 3:
STATE OF TEXAS
COUNTY OF ROCKWALL

BEING a tract of land situated in the WILLIAM W. FORD SURVEY, Abstract No. 80, in Rockwall County, Texas, being a portion of a tract of land conveyed to Donald J. Wallace, as recorded in Volume 177, Page 570 (hereinafter referred to as "Wallace tract 570"), of the Deed Records of Rockwall County, Texas, as shown on survey, and being more particularly described by metes and bounds as follows:

COMMENCING at a PK nail set for corner, being the South corner of a tract of land conveyed to Donald J. Wallace, as recorded in Volume 177, Page 750, of the Deed Records of Rockwall County, Texas, also being the East corner of a tract of land conveyed to Billy and Margaret Morton, as recorded in Volume 3603, Page 1, of the Deed Records of Rockwall County, Texas, and in the approximate center line of H. Wallace Lane;

THENCE North 43 degrees 39 minutes 04 seconds East, a distance of 511.54 feet to a PK nail set for corner, being on the Southeast line of said "Wallace tract 570," and being in the approximate center line of H. Wallace Lane, and being the POINT OF BEGINNING;

THENCE North 46 degrees 20 minutes 56 seconds West, a distance of 500.00 feet to a 1/2 inch yellow-capped iron rod set for corner, being on the Northwest line of said "Wallace tract 570";

THENCE North 43 degrees 39 minutes 04 seconds East, at a distance of 200.32 feet to a 1/2 inch orange-capped iron rod found for corner, being the North corner of said "Wallace tract 570";

THENCE South 46 degrees 20 minutes 56 seconds East, a distance of 500.00 feet to a PK nail set for corner, from which a 1/2 inch orange-capped iron rod found for reference bears North 46 degrees 20 minutes 56 seconds East, a distance of 33.05 feet, and being in the approximate center line of H. Wallace Lane;

THENCE South 43 degrees 39 minutes 04 seconds West, a distance of 200.32 feet to the PLACE OF BEGINNING and containing 100,159 square feet or 2.30 acres of land.

1529 E. I-30, STE. 106, GARLAND, TX 75043 - FIRM REGISTRATION NO. 10194052
The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat:

TITLE AND ABSTRACTING WORK FURNISHED BY DON WALLACE
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.

Scale: 1" = 100'
Date: 12/05/2020
G. F. No.: -
Job no.: 108251
Drawn by: JB
USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR DON WALLACE

LEGEND

WOOD FENCE	---	TEXT	---
CHAIN LINK	---	IMPROVEMENTS	---
IRON FENCE	---	BOUNDARY LINE	---
WIRE FENCE	---	EASEMENT/SETBACK	---
MRD	---	RESIDENCE/BUILDING	---
1/2" IRON ROD FOUND	○	PK NAIL SET	△
1/2" YELLOW-CAPPED IRON ROD SET	○	CABLE	○
1/2" YELLOW-CAPPED IRON ROD FOUND	○	ELECTRIC	○
1/2" ORANGE-CAPPED IRON ROD FOUND	○	CLEAN OUT	○
3/8" IRON ROD FOUND	○	GAS METER	○
PK NAIL FOUND	△	POOL EQUIP	○
1/2" IRON ROD FOUND	○	POWER POLE	○
1/2" IRON ROD FOUND	○	TELEPHONE	○
1/2" IRON ROD FOUND	○	FIRE HYDRANT	○
1/2" IRON ROD FOUND	○	LIGHT POLE	○
1/2" IRON ROD FOUND	○	WATER METER	○
1/2" IRON ROD FOUND	○	MANHOLE	○
1/2" IRON ROD FOUND	○	WATER VALVE	○

(UNLESS OTHERWISE NOTED)



MARGARET ANNE WALLACE MORTON VOL. 180, PG. 592

WALLACE LAND PARTNERS, L.P. VOL. 2017, PG. 76, 82, VOM. 88, 94, & 100

APPROX. LOCATION ZONE X AS SCALED FROM FEMA MAP DATED 09/26/2008

N 43°39'04" E 331.22'

N 43°39'04" E 180.32'

N 43°39'04" E 200.32'

MRD

MRD

TRACT 1
165,611.50 SQ. FT.
3.802 ACRES

TRACT 2
90,159 SQ. FT.
2.07 ACRES

TRACT 3
100,159 SQ. FT.
2.30 ACRES

WALLACE LAND PARTNERS, L.P. VOL. 2017, PG. 76, 82, VOM. 88, 94, & 100

BILLY R. & MARGARET A. MORTON VOL. 3603, PG. 1

EASEMENT AND RIGHT OF WAY TO RCH WATER SUPPLY VOL. 64, PG. 393

TRACT 1 BEGINNING, TRACT 2 & 3 COMMENCING

TRACT 2 BEGINNING

TRACT 3 BEGINNING

REFERENCE MONUMENT

(S 46°07'57" W) (461.93')

511.54'

E REFERENCE MONUMENT TJT INVESTMENT TRUST INST. NO. 201900000560

S 43°39'04" W 331.22'

S 43°39'04" W 180.32'

S 43°39'04" W 200.32'

ASPHALT

PAUL J. & NORMA J. WILCK VOL. 152, PG. 922

H. WALLACE LANE

WEST CORNER LOT 1, CONOVER ADDITION 30.00'

LOT 1, CONOVER ADDITION CAB. H, SL. 93-94

LOT 2, CONOVER ADDITION CAB. H, SL. 93-94

APPROX. LOCATION ZONE A 100YR AS SCALED FROM FEMA MAP DATED 09/26/2008

JACKSON W. HUNT, JR. VOL. 1467, PG. 11

APPROX. LOCATION ZONE X AS SCALED FROM FEMA MAP DATED 09/26/2008

A PORTION OF THE ABOVE DESCRIBED PROPERTY DOES LIE IN A FLOOD HAZARD AREA ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.

ZONE A, 48397C0105L, 09/26/2008

BEARINGS ARE BASED ON RTK READINGS OF TEXAS COORDINATE SYSTEM OF 1983 (NAD83), NORTH CENTRAL ZONE (4202)

NOTE: NOT ALL IMPROVEMENTS ARE SHOWN.

CITY OF ROCKWALL

ORDINANCE NO. 21-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT AND SINGLE-FAMILY ESTATE 2.0 (SFE-2.0) DISTRICT TO A SINGLE-FAMILY ESTATE 1.5 (SFE-1.5) DISTRICT FOR AN 8.17-ACRE TRACT OF LAND IDENTIFIED AS A PORTION OF TRACT 44-01 AND ALL OF TRACTS 45-02 & 45-07 OF THE W.W. FORD SURVEY, ABSTRACT NO. 80, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Matthew Deyemond of TC Planning and Design on behalf of the owner Donald Wallace for a change in zoning from an Agricultural (AG) District and a Single-Family Estates 2.0 (SFE-2.0) District to a Single-Family Estate 1.5 (SFE-1.5) District for an 8.17-acre tract of land identified as a portion of Tract 44-01 and all of Tracts 45-02 & 45-07 of the W.W. Ford Survey, Abstract No. 80, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District and Single-Family Estate 2.0 (SFE-2.0) District, and more fully depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District and a Single-Family Estate 2.0 (SF-2.0) District to a Single-Family Estate 1.5 (SFE-1.5) District.

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Single-Family Estate 1.5 (SFE-1.5) District* as stipulated in Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, and Subsection 03.02, *Single-Family*

Estate 1.5 (SFE-1.5) District, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future.

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein.

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF FEBRUARY, 2021.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: January 19, 2021

2nd Reading: February 1, 2021

TRACT ONE (1):

BEING a tract of land situated in the WILLIAM W. FORD SURVEY, Abstract No. 80, in Rockwall County, Texas, being a portion of a tract of land conveyed to Donald J. Wallace (hereinafter referred to as "Wallace tract 750"), as recorded in Volume 177, Page 750, of the Deed Records of Rockwall County, Texas, and all of a tract of land conveyed to Donald J. & Catherine Wallace, as recorded in Volume 6568, Page 258, of the Deed Records of Rockwall County, Texas, as shown on survey, and being more particularly described by metes and bounds as follows:

BEGINNING at a PK nail set for corner, being the South corner of said "Wallace 750" tract, also being the East corner of a tract of land conveyed to Billy R. and Margaret Morton, as recorded in Volume 3603, Page 1, of the Deed Records of Rockwall County, Texas, and in the approximate center line of H. Wallace Lane;

THENCE North 46 degrees 20 minutes 56 seconds West, at a distance of 361.50 feet passing the North corner of said Morton tract, said corner also being the Eastern most corner of a tract of land conveyed to Margaret Wallace Morton as recorded in Volume 180, Page 592, of the Deed Records of Rockwall County, Texas, continuing for a total distance of 500.00 feet to a 3/8 inch iron rod found for corner, being the West corner of said "Wallace tract 750";

THENCE North 43 degrees 39 minutes 04 seconds East, a distance of 331.22 feet to 1/2 inch yellow-capped iron rod set for corner, being on the Northwest line of said "Wallace tract 750";

THENCE South 46 degrees 20 minutes 56 seconds East, a distance of 500.00 feet to a PK nail set for corner, being in the approximate center line of H. Wallace Lane;

THENCE South 43 degrees 39 minutes 04 seconds West, a distance of 331.22 feet to the PLACE OF BEGINNING and containing 165,611.50 square feet or 3.802 acres of land.

TRACT TWO (2):

BEING a tract of land situated in the WILLIAM W. FORD SURVEY, Abstract No. 80, in Rockwall County, Texas, and being a portion of a tract of land conveyed to Donald J. Wallace (hereinafter referred to as "Wallace tract 750"), as recorded in Volume 177, Page 750, of the Deed Records of Rockwall County, Texas, and a portion of a tract of land conveyed to Donald J. Wallace, as recorded in Volume 177, Page 570 (hereinafter referred to as "Wallace tract 570"), of the Deed Records of Rockwall County, Texas, as shown on survey, and being more particularly described by metes and bounds as follows:

COMMENCING at a PK nail set for corner, being the South corner of said "Wallace tract 750", also being the East corner of a tract of land conveyed to Billy and Margaret Morton, as recorded in Volume 3603, Page I, of the Deed Records of Rockwall County, Texas, and in the approximate center line of H. Wallace Lane;

THENCE North 43 degrees 39 minutes 04 seconds East, a distance of 331.22 feet to a PK nail set for corner, being on the Southeast line of said "Wallace tract 750," and being in the approximate center line of H. Wallace Lane, and being the POINT OF BEGINNING;

THENCE North 46 degrees 20 minutes 56 seconds West, a distance of 500.00 feet to a PK nail set for corner, being in the Northwest line of said "Wallace tract 750";

THENCE North 43 degrees 39 minutes 04 seconds East, at a distance of 119.28 feet passing the North corner of said "Wallace tract 750," also being the East corner of said "Wallace tract 570," continuing a total distance of 180.32 feet to 1/2 inch yellow-capped iron rod set for corner, being on the Northwest line of said "Wallace tract 570";

THENCE South 46 degrees 20 minutes 56 seconds East, a distance of 500.00 feet to a PK nail set for corner, being in the approximate center line of H. Wallace Lane;

THENCE South 43 degrees 39 minutes 04 seconds West, a distance of 180.32 feet to the PLACE OF BEGINNING and containing 90,159 square feet or 2.07 acres of land.

TRACT THREE (3):

BEING a tract of land situated in the WILLIAM W. FORD SURVEY, Abstract No. 80, in Rockwall County, Texas, being a portion of a tract of land conveyed to Donald J. Wallace, as recorded in Volume 177, Page 570 (hereinafter referred to as "Wallace tract 570"), of the Deed Records of Rockwall County, Texas, as shown on survey, and being more particularly described by metes and bounds as follows:

COMMENCING at a PK nail set for corner, being the South corner of a tract of land conveyed to Donald J. Wallace, as recorded in Volume 177, Page 750, of the Deed Records of Rockwall County, Texas, also being the East corner of a tract of land conveyed to Billy and Margaret Morton, as recorded in Volume 3603, Page I, of the Deed Records of Rockwall County, Texas, and in the approximate center line of H. Wallace Lane;

THENCE North 43 degrees 39 minutes 04 seconds East, a distance of 511.54 feet to a PK nail set for corner, being on the Southeast line of said "Wallace tract 570," and being in the approximate center line of H. Wallace Lane, and being the POINT OF BEGINNING;

THENCE North 46 degrees 20 minutes 56 seconds West, a distance of 500.00 feet to a 1/2 inch yellow-capped iron rod set for corner, being on the Northwest line of said "Wallace tract 570";

THENCE North 43 degrees 39 minutes 04 seconds East, at a distance of 200.32 feet to a 1/2-inch orange-capped iron rod found for corner, being the North corner of said "Wallace tract 570";

THENCE South 46 degrees 20 minutes 56 seconds East, a distance of 500.00 feet to a PK nail set for corner, from which a 1/2-inch orange-capped iron rod found for reference bears North 46 degrees 20 minutes 56 seconds East, a distance of 33.05 feet, and being in the approximate center line of H. Wallace Lane;

THENCE South 43 degrees 39 minutes 04 seconds West, a distance of 200.32 feet to the PLACE OF BEGINNING and containing 100,159 square feet or 2.30 acres of land.

*General Location: Northeast of the Intersection of H. Wallace Lane and Horizon Road [FM3097]
Legal Description: An 8.17-Acre Portion of Tract 44-01 of the W.W. Ford Survey, Abstract No. 80*



Rockwall

Central Appraisal District

January 15, 2021

CITY OF ROCKWALL
RICK CROWLEY
385 S GOLIAD
ROCKWALL, TX 75087

Dear Mr. Crowley,

Lou Johnson, a member of the Rockwall CAD Board of Directors, has recently resigned. Per Texas Property Tax Code Sec. 6.03 (I), "each taxing unit that is entitled to vote by this section may nominate by resolution adopted by its governing body a candidate to fill the vacancy". The Tax Code further states that the taxing units "shall submit the name of its nominee to the chief appraiser within 45 days after notification from the board of directors of the existence of the vacancy". The chief appraiser shall prepare and deliver a list of the nominees within the next five days, after which the board of directors shall elect by majority vote one of the nominees to fill the vacancy.

This letter will serve as your official notification of the vacancy.

Please contact me if you have any questions.

Sincerely,

Kevin Passons
Chief Appraiser

**CITY OF ROCKWALL
RESOLUTION NO. 21-01**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, PROVIDING FOR SUBMISSION OF A NOMINEE TO THE ROCKWALL CENTRAL APPRAISAL DISTRICT (RCAD) BOARD RELATED TO FILLING THE CURRENT VACANCY ON SAID BOARD; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Rockwall was recently informed that a representative from Rockwall ISD resigned from the Board of Directors of the Rockwall Central Appraisal District (RCAD); and

WHEREAS, each taxing entity was invited to submit by resolution the name of its nominee as a replacement; and

WHEREAS, the RCAD Board of Directors is then expected to elect one of the nominees to fill the vacancy.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THAT:

Section 1. The Rockwall City Council, as a result of the Executive Session held at its regular city council meeting on the 19th day of January, 2021 hereby nominates and instructs the City Manager to send for submission to the CAD the following individual:

Section 2. This Resolution shall become effective from and after its adoption and it is so resolved.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 19th DAY OF JANUARY, 2021.

ATTEST:

Jim Pruitt, Mayor

Kristy Cole, City Secretary



MEMORANDUM

TO: Rick Crowley, City Manager
CC: Honorable Mayor and City Council
FROM:
DATE: January 19, 2021
SUBJECT:

Attachments
Census Memo

Summary/Background Information

Action Needed



MEMORANDUM

TO: City Council

FROM: Joey Boyd, Assistant City Manager

DATE: January 12, 2021

SUBJECT: 2020 Census – Complete Count Update

Included below is a summary report on the Complete Count effort related to the 2020 Census.

- The City of Rockwall had a 72.7% self-response rate.
- Rockwall County ranked 2nd in the State of Texas for self-response with 74.5% behind Fort Bend County who had a 75.8% self-response rate.
- The State of Texas had a 62.8% self-response rate.
- Nonresponse Follow-up was the final 2020 Census data collection operation to count households that did not respond online, by phone, or by returning their completed questionnaire. The Non-Response Follow Up in the Collin County Area Census Office, which includes Rockwall achieved a 99.9% completion rate.
- The statutory deadline to provide redistricting data is March 31, 2021.
- Council Member Bennie Daniels was asked to lead a Complete Count Committee to educate and promote the Census throughout Rockwall County. The Committee included elected officials, service organizations, local churches, school district administration, and other civic and community leaders. The Committee worked with representatives from the US Census Bureau to provide training and community outreach to inform residents of the importance of completing the census.
- Due to the pandemic, engaging the community in person was limited, but through print and social media, the entire Rockwall community was able to achieve a successful 2020 Census.
- Thank you to all of the community leaders for their partnership in this effort. Rockwall citizens should be acknowledged for their participation and response to the census.
- There is \$675 Billion in funding tied to the 2020 Census. Many worthy programs will benefit from this funding over the next several years.



MEMORANDUM

TO: Rick Crowley, City Manager
CC: Honorable Mayor and City Council
FROM:
DATE: January 19, 2021
SUBJECT:

Attachments

Summary/Background Information

Action Needed